

# Hanson Residence

## 128 Florence Ave. - Greenburgh, NY



Luis Salazar, Architect  
41 Springdale Avenue, White Plains, NY 10606  
914-238-5814  
LSA@PRODIGY.NET

### GYPSUM WALL BOARD NOTES

- Provide gypsum without metal mesh in walls & vaults as indicated on the drawings.
- Seal in the job in a single package, bearing manufacturer's name.
- Keep moisture free, under cover & out of contact with other materials until ready for use.
- Good brand (National Gypsum Co.) J.G. Gypsum Co. Gyp Products, approved by architect.
- Use gypsum board in accordance with manufacturer's instructions. Use of other brands requires approval of architect.
- Seal all joints, corners, and penetrations with approved joint compound. Use of other brands requires approval of architect.
- Seal all cracks, holes, and voids with approved sealant. Seal of all joints, corners, holes, and voids with approved sealant.
- Seal all cracks, holes, and voids with approved sealant. Seal of all joints, corners, holes, and voids with approved sealant.

### FIRE STOPPING NOTES

- Provide fire stopping in accordance with manufacturer's instructions.
- Seal all penetrations with approved fire stopping material.
- Seal all cracks, holes, and voids with approved sealant.
- Seal all joints, corners, and penetrations with approved joint compound.
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- Seal all joints, corners, and penetrations with approved joint compound.

### CARPENTRY NOTES

- All structural joints shall be reinforced with steel plates or bolts as indicated on the drawings.
- Provide carpentry in accordance with manufacturer's instructions.
- Seal all penetrations with approved fire stopping material.
- Seal all cracks, holes, and voids with approved sealant.
- Seal all joints, corners, and penetrations with approved joint compound.
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- Seal all cracks, holes, and voids with approved sealant.

### SMOKE DETECTORS NOTES

- Smoke detectors shall be installed in accordance with manufacturer's instructions.
- Provide smoke detectors in accordance with manufacturer's instructions.
- Seal all penetrations with approved fire stopping material.
- Seal all cracks, holes, and voids with approved sealant.
- Seal all joints, corners, and penetrations with approved joint compound.
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- Seal all joints, corners, and penetrations with approved joint compound.
- Seal all cracks, holes, and voids with approved sealant.

### ELECTRICAL NOTES

- The Contractor shall obtain all permits, approvals, and licenses required for the work.
- Provide electrical in accordance with manufacturer's instructions.
- Seal all penetrations with approved fire stopping material.
- Seal all cracks, holes, and voids with approved sealant.
- Seal all joints, corners, and penetrations with approved joint compound.
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- Seal all joints, corners, and penetrations with approved joint compound.
- Seal all cracks, holes, and voids with approved sealant.

### PLUMBING NOTES

- The Contractor shall obtain all permits, approvals, and licenses required for the work.
- Provide plumbing in accordance with manufacturer's instructions.
- Seal all penetrations with approved fire stopping material.
- Seal all cracks, holes, and voids with approved sealant.
- Seal all joints, corners, and penetrations with approved joint compound.
- Seal all cracks, holes, and voids with approved sealant.
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- Seal all cracks, holes, and voids with approved sealant.

### ENERGY CONSERVATION

- The Contractor shall obtain all permits, approvals, and licenses required for the work.
- Provide energy conservation in accordance with manufacturer's instructions.
- Seal all penetrations with approved fire stopping material.
- Seal all cracks, holes, and voids with approved sealant.
- Seal all joints, corners, and penetrations with approved joint compound.
- Seal all cracks, holes, and voids with approved sealant.
- Seal all joints, corners, and penetrations with approved joint compound.
- Seal all cracks, holes, and voids with approved sealant.

### GENERAL NOTES

- ANY DISCREPANCIES BETWEEN THE DRAWINGS AND THE ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE ARCHITECT BEFORE PROCEEDING WITH ANY WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
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### CLIMATIC & GEOGRAPHIC DESIGN CRITERIA

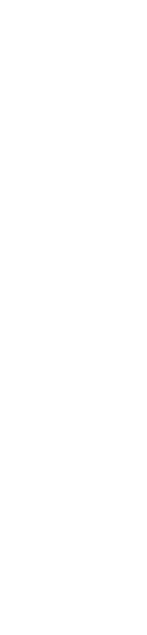
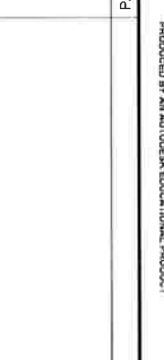
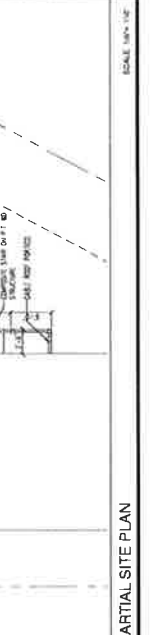
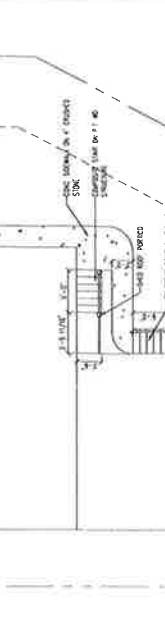
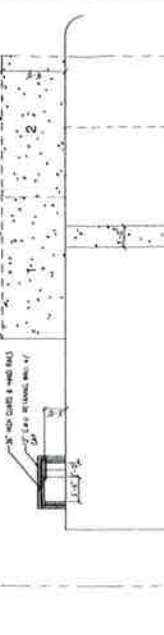
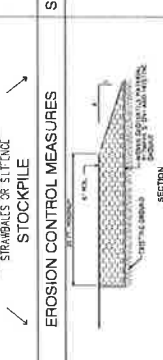
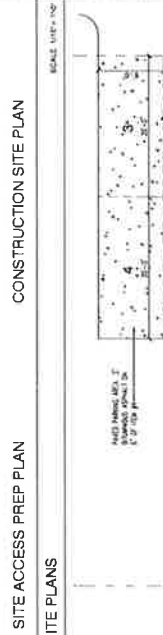
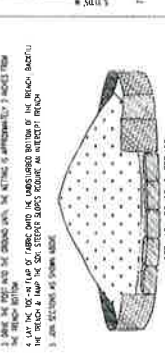
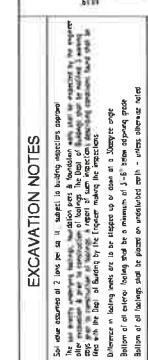
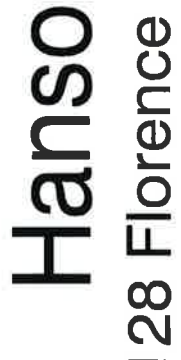
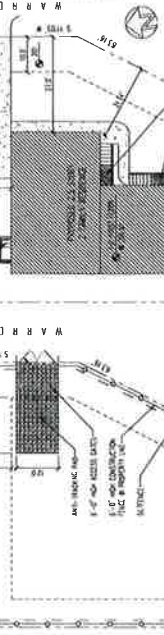
Parameter	Value
Design Temperature	65°F
Design Humidity	50%
Design Wind Speed	100 mph
Design Snow Load	30 psf
Design Ice Load	1/2" ice
Design Rain Load	2.0 in
Design Seismicity	Zone 2

### PLAN LEGEND

Symbol	Description
---	Existing Footing
---	Proposed Footing
---	Existing Foundation
---	Proposed Foundation
---	Existing Wall
---	Proposed Wall
---	Existing Slab
---	Proposed Slab
---	Existing Roof
---	Proposed Roof

### ZONING REQUIREMENTS

Zone	Lot Size	Max. Area	Max. Height	Max. Density
R-10	10,000 sq ft	10,000 sq ft	35 ft	10 units/acre
R-15	15,000 sq ft	15,000 sq ft	40 ft	15 units/acre
R-20	20,000 sq ft	20,000 sq ft	45 ft	20 units/acre
R-25	25,000 sq ft	25,000 sq ft	50 ft	25 units/acre
R-30	30,000 sq ft	30,000 sq ft	55 ft	30 units/acre



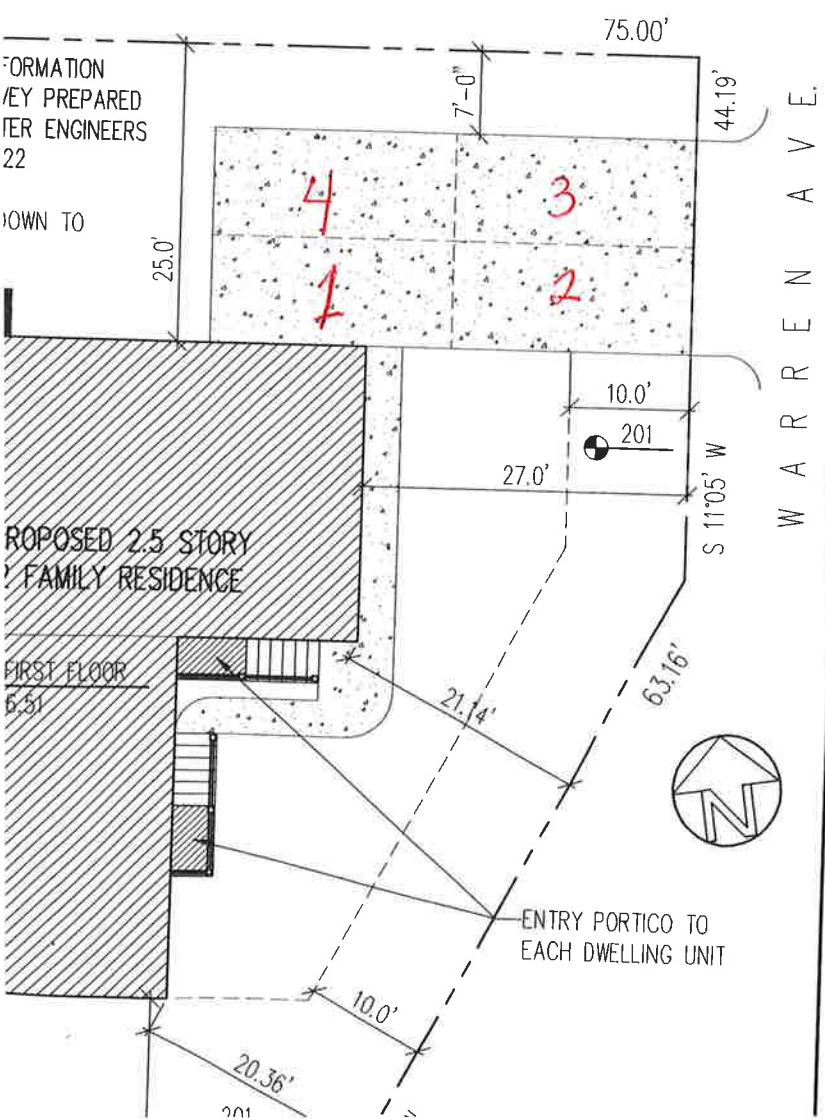
PRODUCED BY AN AUTODESK EDUCATIONAL PRODUCT

# ance burgh, NY



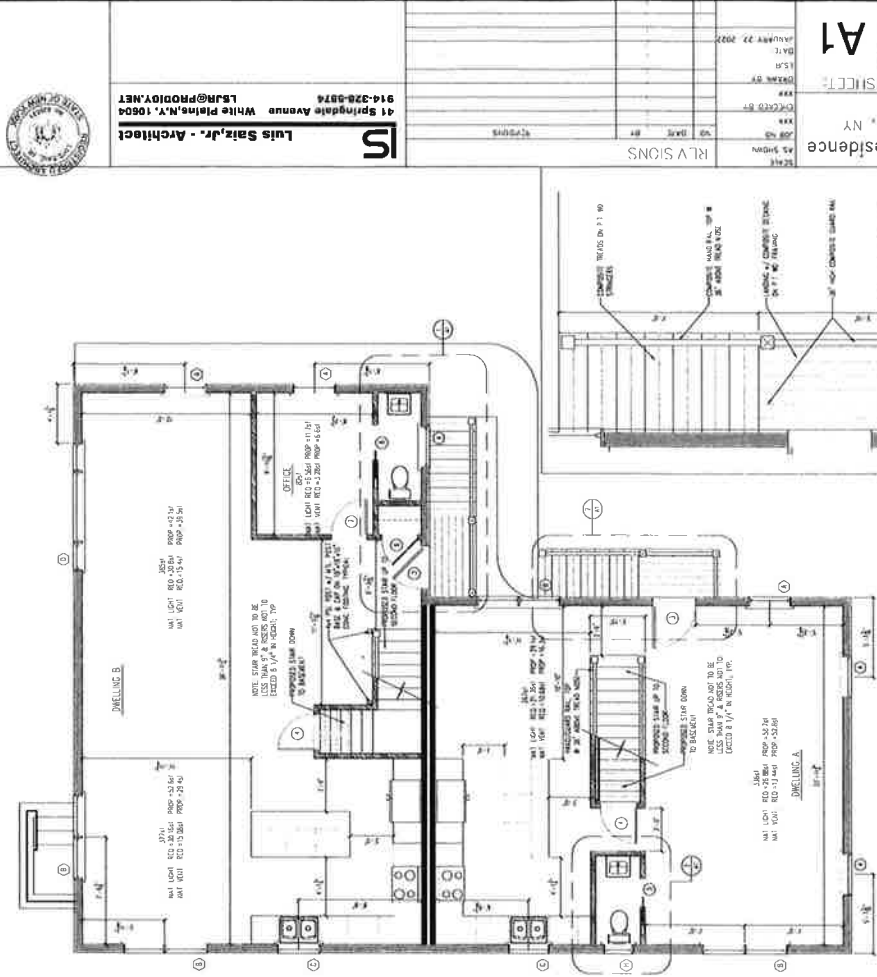
**RECEIVED**  
OCT 18 2022  
TOWN OF GREENBURGH  
BUILDING DEPARTMENT

**Luis Saiz, Jr. - Architect**  
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LSJR@PRODIGY.NET

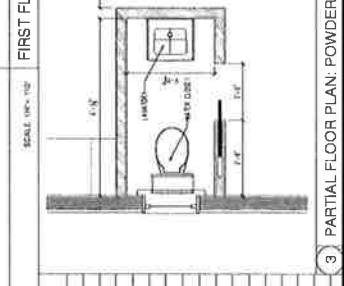
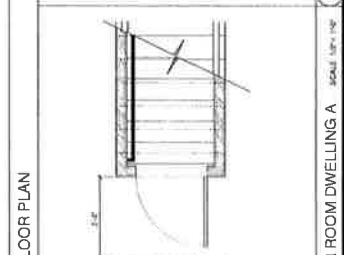
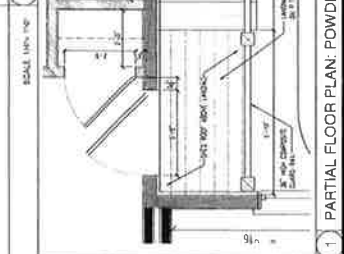
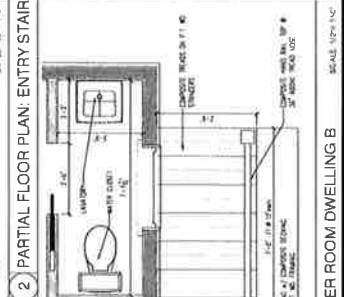
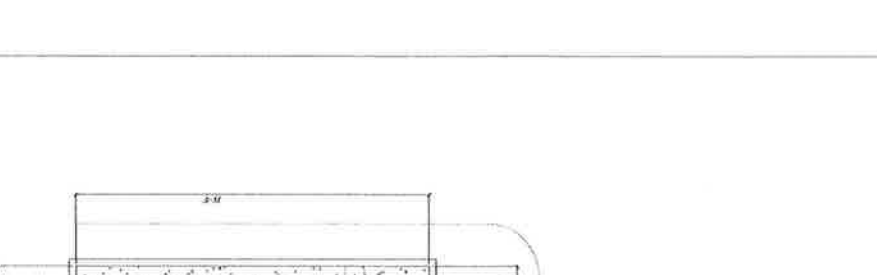


REVISIONS

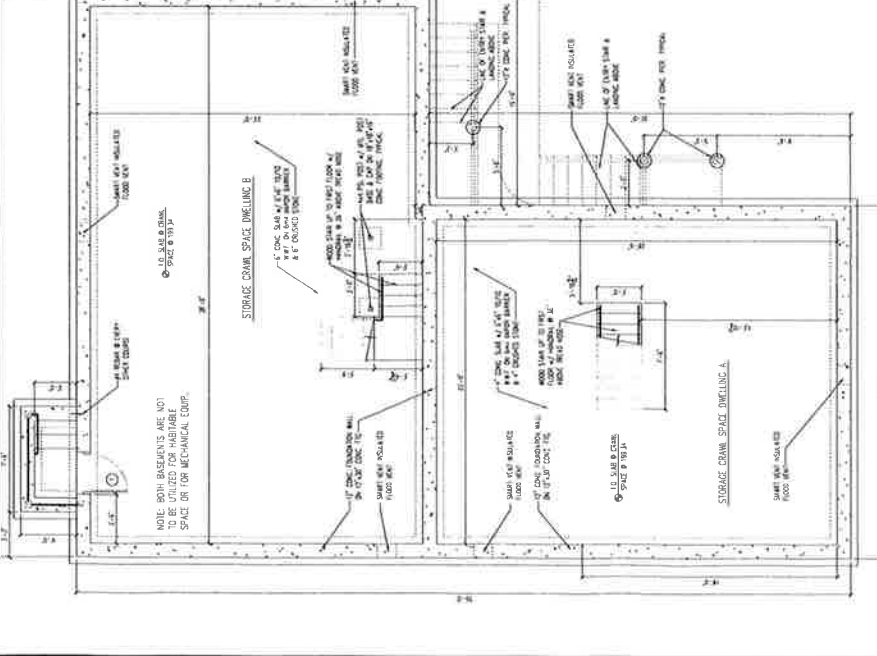
TRAVELER



PROPOSED new two family residence  
 128 FLORENCE AVE. - GREENBURGH, NY  
 FOR KIMONA HANSON  
 FOUNDATION & 1st FLOOR CONSTRUCTION  
 SHEETS  
 DATE: JANUARY 22, 2022  
 DRAWN BY: [Redacted]  
 CHECKED BY: [Redacted]  
 RLV SONS

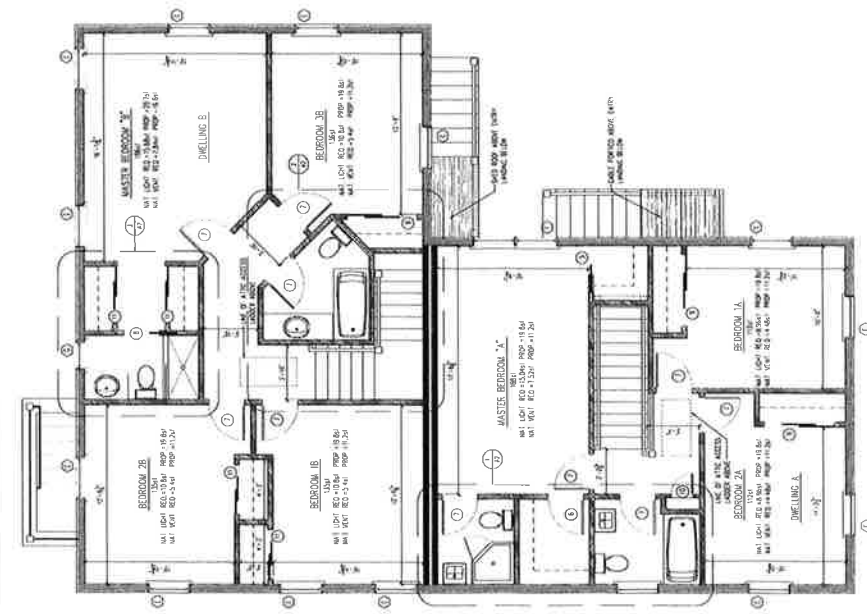


WINDOW SCHEDULE			DOOR SCHEDULE		
NO.	SYMBOL	TYPE	TYPE	SIZE	NOTES
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4	114	114	114	36\"	114
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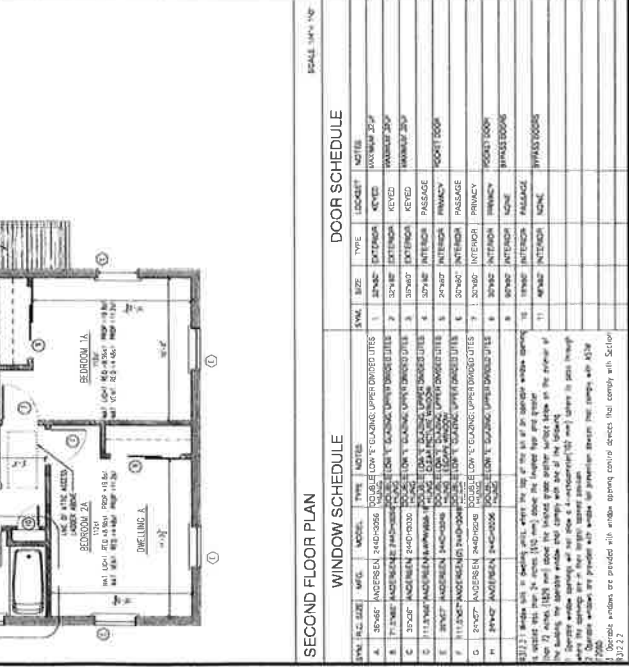
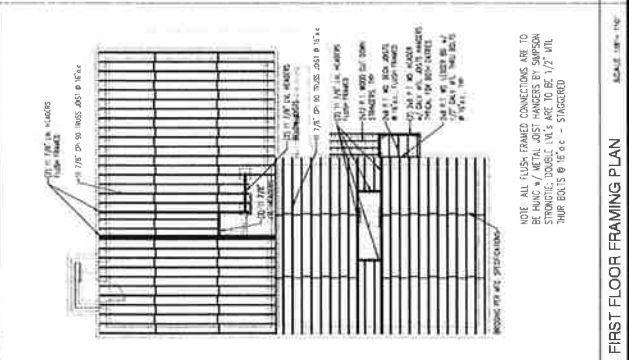
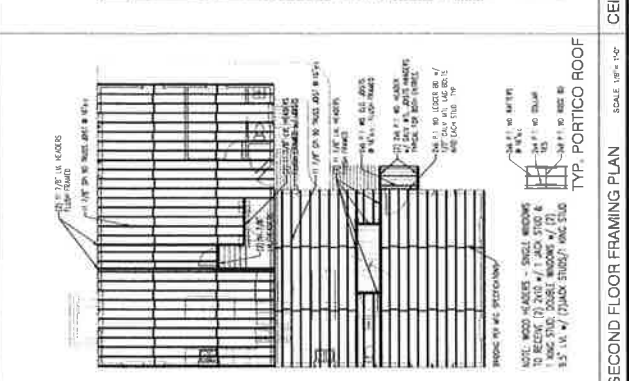
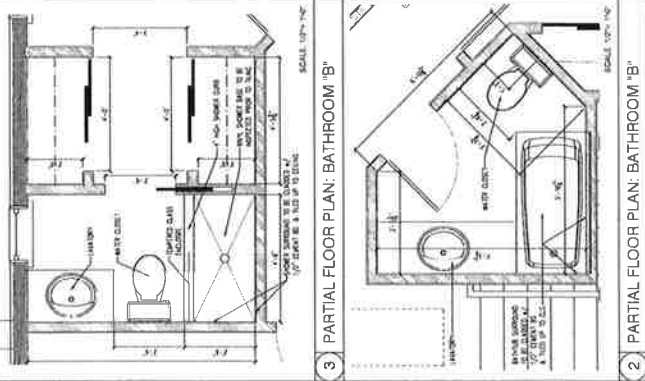
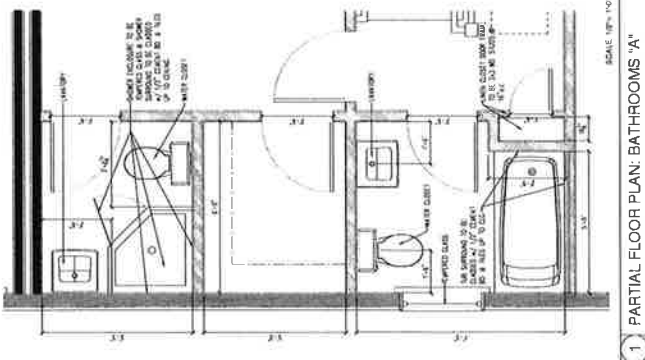
15  
 Luis Saliz, Jr. - Architect  
 41 Springdale Avenue, White Plains, N.Y. 10604  
 LSJH@PRODIGY.NET  
 914-328-0374

PLANS & PARTIAL FLOOR PLANS  
 FOUNDATION & 1st FLOOR CONSTRUCTION  
 SHEETS  
 DATE: JANUARY 22, 2022  
 DRAWN BY: [Redacted]  
 CHECKED BY: [Redacted]  
 RLV SONS



**SECOND FLOOR PLAN** SCALE 1/8" = 1'-0"

SYMBOL	SIZE	TYPE	NOTE
1	30" x 60"	INTERIOR	DOOR TO BATHROOM A
2	30" x 60"	INTERIOR	DOOR TO BATHROOM B
3	30" x 60"	INTERIOR	DOOR TO BEDROOM 1A
4	30" x 60"	INTERIOR	DOOR TO BEDROOM 1B
5	30" x 60"	INTERIOR	DOOR TO BEDROOM 2A
6	30" x 60"	INTERIOR	DOOR TO BEDROOM 2B
7	30" x 60"	INTERIOR	DOOR TO BEDROOM 3A
8	30" x 60"	INTERIOR	DOOR TO BEDROOM 3B
9	30" x 60"	INTERIOR	DOOR TO PASSAGE
10	30" x 60"	INTERIOR	DOOR TO PASSAGE
11	30" x 60"	INTERIOR	DOOR TO PASSAGE



PROPOSED new two family residence  
128 FLORENCE AVE. - GREENBURGH, NY  
FOR KIMONA HANSON

2ND FLOOR PLAN, PARTIAL FLOOR  
PLANS & FRAMING PARTS  
SHEET: **A2**

DATE: JANUARY 25, 2022

SCALE: AS SHOWN

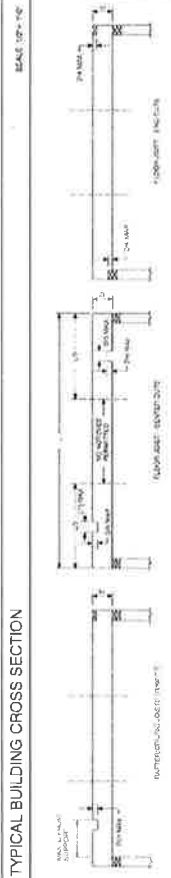
REV. NO. NO. DATE BY REVISIONS

**LS**  
Luis Salazar, Architect  
41 Springdale Avenue  
White Plains, N.Y. 10604  
LSA@PRODIGY.NET

SEAL OF THE STATE OF NEW YORK  
ARCHITECT

<p style="text-align: center;">SCALE 1/8" = 1'-0"</p> <p style="text-align: center;">EXTERIOR SOUTH ELEVATION</p>	<p style="text-align: center;">SCALE 1/8" = 1'-0"</p> <p style="text-align: center;">EXTERIOR EAST ELEVATION</p>	<p style="text-align: center;">SCALE 1/8" = 1'-0"</p> <p style="text-align: center;">EXTERIOR NORTH ELEVATION</p>	<p style="text-align: center;">SCALE 1/8" = 1'-0"</p> <p style="text-align: center;">EXTERIOR WEST ELEVATION</p>
<p>PRODUCED BY AN AUTODESK EDUCATIONAL PRODUCT</p>			
<p>PROPOSED new two family residence                  128 FLORENCE AVE - GREENBURGH, NY                  FOR KIMONA HANSON                  EXTERIOR ELEVATIONS</p>			
<p style="font-size: 2em; font-weight: bold;">A3</p>			
<p>DATE: 12/14/2022                  PROJECT: 128 FLORENCE AVE                  DRAWN BY: [Name]                  CHECKED BY: [Name]                  SCALE: 1/8" = 1'-0"</p>			
<p><b>LS</b>                  Luis Salazar - Architect                  41 Springdale Avenue White Plains, N.Y. 10604                  LSAR@PRODIGY.NET                  914-328-9874</p>			

RAFTER / JOISTS NOTCHING

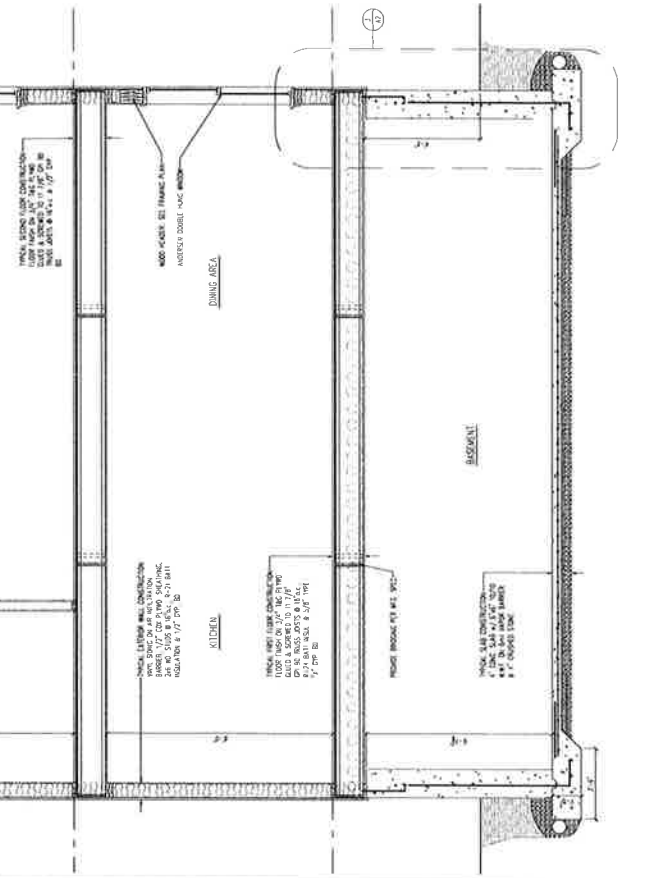


**PROPOSED new two family residence**  
 FOR KIMONA HANSON  
 128 FLORENCE AVE. - GREENBURGH, NY

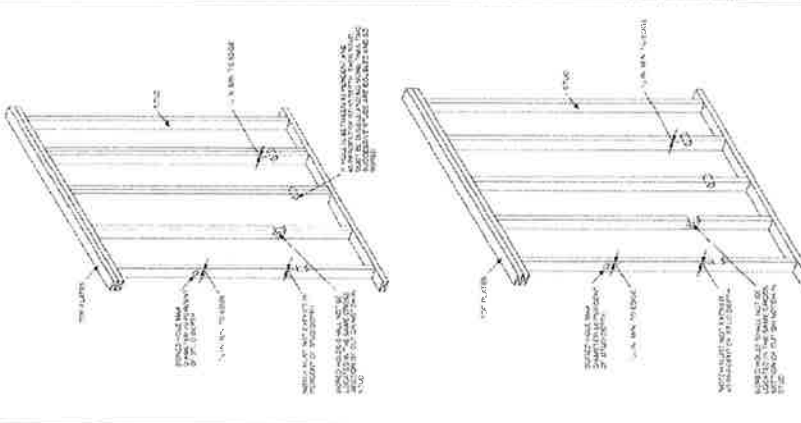
**BUILDING CROSS SECTION & DETAILS**  
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DATE: 1/24/18  
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 CHECKED BY: [Name]  
 PROJECT NO: [Number]  
 RLV SONS

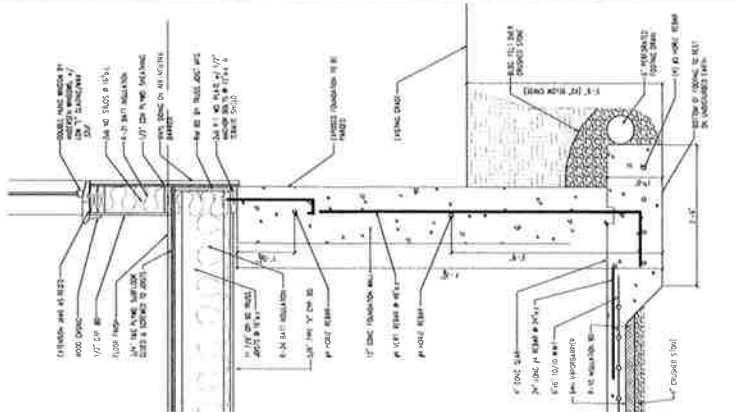
**LS**  
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 914-328-5974



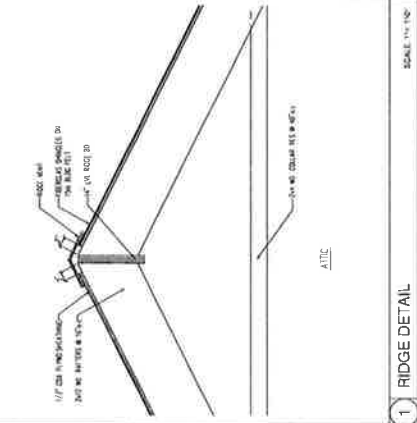
WALL NOTCHING



FOUNDATION WALL SECTION



1 RIDGE DETAIL



2 EAVE DETAIL

