

DRAWING LIST	
ARCHITECTURAL DRAWINGS	
COVER SHEET	A.001
SITE PLAN WITH CANOPY	A.002
SIGN ELEVATIONS AND DETAILS	A.003

GULF STATION PROPOSED CONVENIENCE STORE

212 TARRYTOWN ROAD WHITE PLAINS, NY, 10607

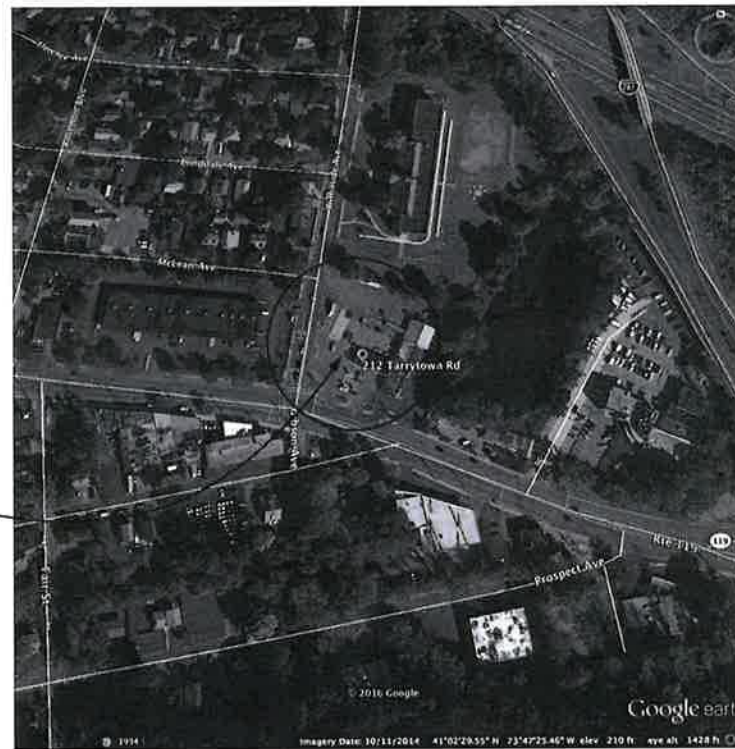
TWO PARCELS 7.490-303-2 & 7.490-303-3

- ELECTRICAL TO BE FILED UNDER SEPARATE APPLICATION.

PROPOSED SIGN LEGALIZATION

LOCATION

- PROPOSED THIRD SIGN ON EXISTING BP CANOPY FACING CARWASH ON EAST SIDE OF PROPERTY



GENERAL CONDITIONS:

1. THE GENERAL CONDITIONS ARE HEREBY MADE AN ADMINISTRATIVE PART OF THESE DRAWINGS, AS IF HEREIN WRITTEN IN FULL.
2. WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.
3. LARGER SCALE DETAILS SHALL HAVE PRECEDENCE OVER SMALLER SCALE DRAWINGS. IT IS THE INTENTION OF THE DRAWINGS TO PROVIDE FOR A COMPLETE JOB IN ALL RESPECTS AND NO EXTRAS WILL BE ALLOWED FOR MATERIALS AND/OR LABOR REQUIRED TO COMPLETE THE WORK AS INDICATED.
4. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THE ENGINEER'S OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS. PROVIDE DIMENSIONS SUBJECT TO ACTUAL FIELD CONDITIONS AND NO CREDITS OR EXTRAS WILL BE ALLOWED FOR DISCREPANCIES UP TO 1'-0" IN ANY MEASUREMENT.
5. CONSTRUCTION SHALL COMPLY WITH ALL FEDERAL, STATE AND LOCAL CODES, ORDINANCES, RULES AND REGULATIONS. CONTRACTOR SHALL ARRANGE FOR ALL NECESSARY PERMITS AND INSPECTIONS INCLUDING THE OCCUPANCY CERTIFICATE.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING ALL WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGE, COLLAPSE, DISTORTION AND MISALIGNMENT ACCORDING TO APPLICABLE CODES, STANDARDS AND GOOD PRACTICE.
7. IF NECESSARY CONTRACTOR SHALL DISCONNECT, CAP AND REROUTE ANY EXISTING WATERLINES, SANITARY OR UTILITY LINES IN AREA OF NEW FOUNDATIONS AND SHALL USE HAND EXCAVATION IN AREAS OF SUSPECTED UNDER GROUND UTILITIES AND SERVICES. IF ANY LINES ARE BROKEN OR DAMAGED, THE CONTRACTOR WILL REPAIR AND REPLACE SAME AT HIS OWN EXPENSE AND ARRANGE FOR PROPER INSPECTION OF HIS WORK.
8. THE INSTALLATION OF ALL MATERIALS AND PRODUCTS SHALL MEET ALL LOCAL FIRE DEPARTMENT'S REQUIREMENTS AND REGULATIONS, PROOF OF WHICH SHALL BE FURNISHED TO THE LOCAL MUNICIPALITY PRIOR TO THE INSTALLATION OF SUCH MATERIALS.
9. PROVIDE ALL BLOCKING AND SUPPORTS AS REQUIRED FOR FRAMING OF NEW AND EXISTING AREAS. INSTALL AND REMOVE (AFTER COMPLETION) ALL TEMPORARY SUPPORTS, HEADERS AND DUST SCREENS TO ADEQUATELY SUSTAIN ALL LOADS AND PROTECT EXISTING WORK FROM DAMAGES OF ANY KIND, INCLUDING DUST.
10. ALL ELECTRIC WORK SHALL CONFORM TO RULES AND REGULATIONS OF THE 2020 NYS BUILDING CODE, 2017 NATIONAL ELECTRIC CODE AND N.Y. STATE BOARD OF FIRE UNDERWRITERS. THE FINAL CERTIFICATE OF APPROVAL MUST BE PRESENTED TO THE OWNER PRIOR TO FINAL PAYMENT.
11. ALL PLUMBING WORK SHALL CONFORM TO RULES AND REGULATIONS OF THE 2020 NYS BUILDING CODE. THE FINAL CERTIFICATE OF APPROVAL MUST BE PRESENTED TO THE OWNER PRIOR TO FINAL PAYMENT.
12. ALL SMOKE DETECTORS SHALL BE HARDWIRED W/ BATTERY BACKUP AND INTERCONNECTED IN ALL BEDROOMS AND APPLICABLE SPACES.
13. THE ENTIRE PREMISES, INSIDE AND OUT, SHALL BE CLEANED OF ALL DEBRIS AND EXCESS MATERIALS, TO THE SATISFACTION OF THE OWNER, INCLUDING LABELS AND PROTECTIVE COATINGS ON ALL MATERIALS.

14. REQUEST FOR FINAL PAYMENT MUST BE ACCOMPANIED WITH A WAIVER OF LIENS, SIGNED BY ALL SUBCONTRACTORS AND MATERIAL SUPPLIERS, IN ADDITION TO THE GENERAL CONTRACTOR.
15. ALL REQUIRED AND NECESSARY PERMITS SHALL BE SECURED FROM ALL MUNICIPAL AGENCIES HAVING JURISDICTION AT THE COST AND EXPENSE OF THE CONTRACTOR AND PRIOR TO START OF WORK AND SHALL OBTAIN APPROVAL OF ALL COMPLETED WORK AS REQUIRED BY ADMINISTRATIVE CODE AND ALL REQUIRED AGENCIES.
16. EACH CONTRACTOR WILL BE HELD RESPONSIBLE FOR HIS/HER WORK. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE BUILDINGS AND WILL BE RESPONSIBLE FOR THE JOINING OF WORK OF ALL TRADES.
17. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF/HERSELF WITH THE REQUIREMENTS OF "SAFETY OF PUBLIC AND PROPERTY DURING CONSTRUCTION OPERATIONS" AND SHALL BE HELD RESPONSIBLE FOR THE SAFE MAINTENANCE AS PRESCRIBED THEREIN UNTIL COMPLETION OF WORK.
18. THE CONTRACTOR OR PERSON WHO SUPERVISED THE WORK IS REQUIRED TO BE PRESENT AT FINAL INSPECTION WITH THE BUILDING DEPARTMENT INSPECTOR.
19. THE ARCHITECT/ENGINEER HAS NOT BEEN RETAINED TO SUPERVISE ANY CONSTRUCTION OR INSTALLATION OF ANY EQUIPMENT.
20. THE OWNER SHALL BE RESPONSIBLE FOR THE SAFE MAINTENANCE OF THE BUILDING AND IT'S FACILITIES.
21. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO NEW YORK STATE FIRE PREVENTION AND 2020 NYS BUILDING CODE.
22. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO COMPLY WITH THE REQUIREMENTS AND STANDARDS OF THE LOCAL ZONING RESOLUTION. IT SHALL ALSO BE THE CONTRACTORS RESPONSIBILITY TO SEEK CERTIFICATION OF THE AFOREMENTIONED SECTIONS, REQUIREMENTS AND STANDARDS.
23. CONTRACTOR SHALL VISIT THE SITE, CHECK AND VERIFY CONDITIONS, FAMILIARIZE HIMSELF/HERSELF WITH EXISTING CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED AND CORRELATE HIS/HER OBSERVATIONS WITH THE REQUIREMENTS OF THE PLANS. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER IMMEDIATELY.
24. CONTRACTOR SHALL BE RESPONSIBLE TO THE OWNER FOR ALL THE ACTS AND OMISSIONS OF ALL HIS EMPLOYEES AND SUB-CONTRACTORS, THEIR AGENTS AND ALL OTHER PERSONS PERFORMING ANY OF THE WORK TO BE DONE.
25. CONTRACTOR SHALL PURCHASE AND MAINTAIN SUCH INSURANCE AS WILL PROTECT HIM/HER RESULT FROM THE CONTRACTORS OPERATIONS, WHETHER BE HIMSELF/HERSELF, SUB-CONTRACTOR, OR BY ANY OF THEM FOR WHOSE ACTS ANY OF THEM MAY BE LIABLE.
26. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS, ORDINANCES, RULES AND REGULATIONS OF PUBLIC AUTHORITY HAVING JURISDICTION FOR THE SAFETY OF PERSONS OR PROPERTY & TO PROTECT THEM FROM DAMAGE, INJURY OR LOSS.
27. CONTRACTOR SHALL PROPERLY CLEAN UP DURING PROCESS OF WORK. CONTRACTOR, UPON COMPLETION OF WORK, SHALL LEAVE PREMISES CLEAN, NEAT AND ORDERLY.
28. CONTRACTOR SHALL GIVE ALL NOTICES.
29. UTILITY CONNECTIONS TO BE FILED UNDER SEPARATE APPLICATION.

ADDRESS: 212 Tarrytown Road
White Plains, NY 10607
ZONE : DS BLOCK : 303
SECTION : 7.490 LOTS : 2&3

7.490-303-2 & 7.490-303-3

ZONING LOCATION



ZONING & BUILDING CODES:

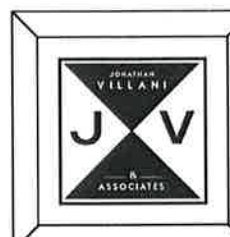
1. ZONING: DS, BUSINESS DISTRICT, GROUP M AND CONSTRUCTION CLASSIFICATION IS IIB.
2. THIS STRUCTURE IS DESIGNED TO CONFORM TO THE 2020 NEW YORK STATE BUILDING CODE.
3. ALL MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION WORK TO BE INSTALLED BY LICENSED CONTRACTORS. CONTRACTORS TO REVIEW DRAWINGS, NOTES, SHEETS AND ATTACHED DETAILS.

22-37

RECEIVED

NOV 14 2022

TOWN OF GREENBURGH
ZONING BOARD



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P-914-949-0270
F-914-428-6235

PROJECT:
**BP STATION
 PROPOSED SIGN**
 212 TARRYTOWN ROAD
 WHITE PLAINS, NEW YORK, 10607

NO.	ISSUE	DATE	BY	DATE
1	ORIGINAL			
2	REVISED			
3	REVISED			
4	REVISED			
5	REVISED			
6	REVISED			
7	REVISED			
8	REVISED			
9	REVISED			

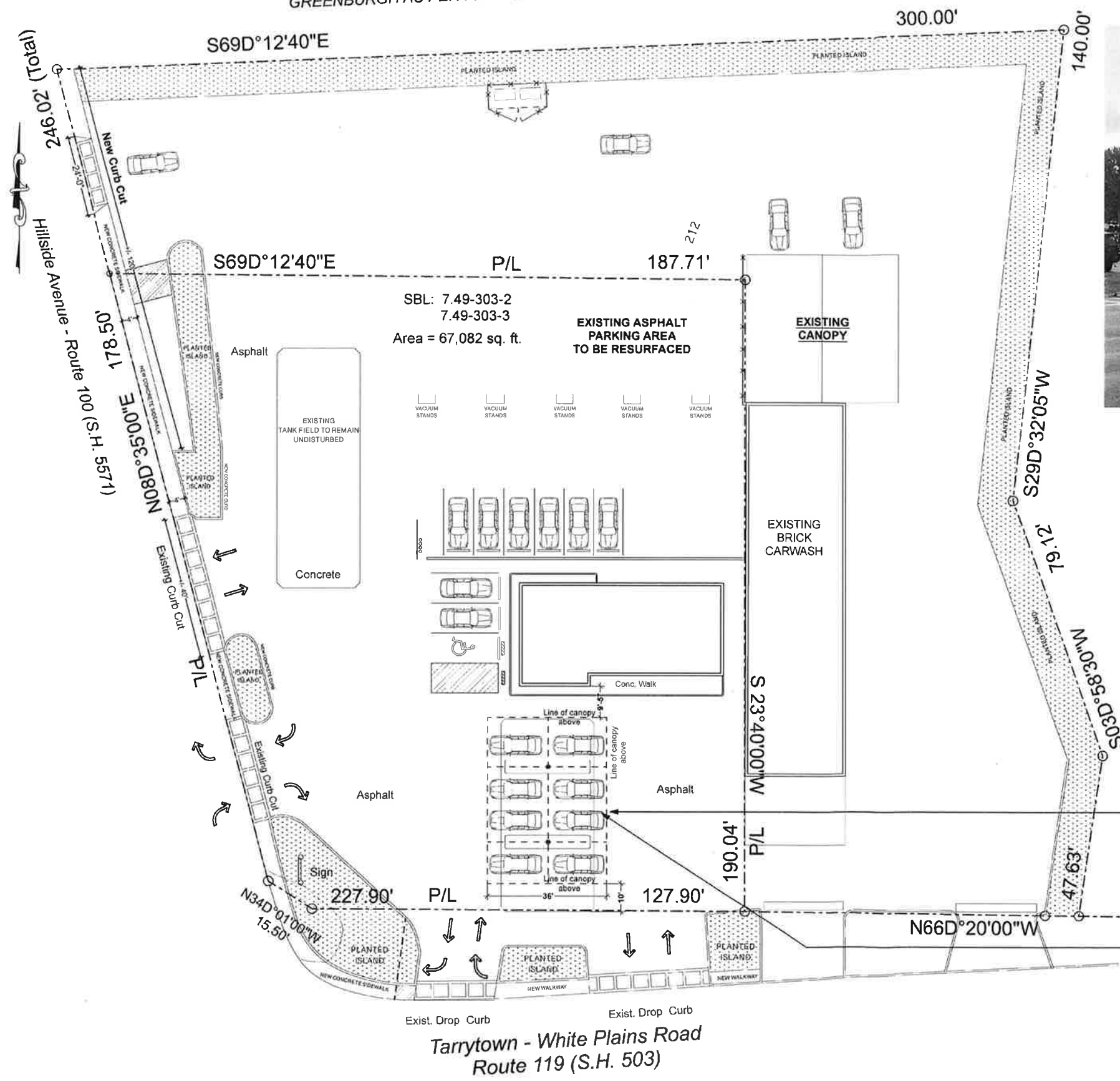


SCALE: AS NOTED DATE: 10/31/22 PROJECT NO.:
DRAWN BY: M CHECKED BY: APPROVED BY:

DRAWING TITLE:
COVER SHEET

DRAWING NO.:
A.001

N/F SCHOOL DISTRICT NO. 5 TOWN OF GREENBURGH AS PER FILED MAP 4215



N/F P37B AS PER FILED MAP 4215

CANOPY OVER EXISTING FUEL PUMPS WAS APPROVED AND CONSTRUCTED WITH BP SIGNAGE ON THE EAST AND WEST ELEVATIONS OF THE CANOPY FASCIA

THIRD BP SIGN IS BEING PROPOSED ON EAST ELEVATION OF CANOPY

A SITE PLAN WITH CANOPY AREA = 67,082 SF / 1.53 ACRES
 SCALE: 1/16" = 1' - 0"

THIRD BP SIGN IS BEING PROPOSED ON SOUTH ELEVATION OF CANOPY



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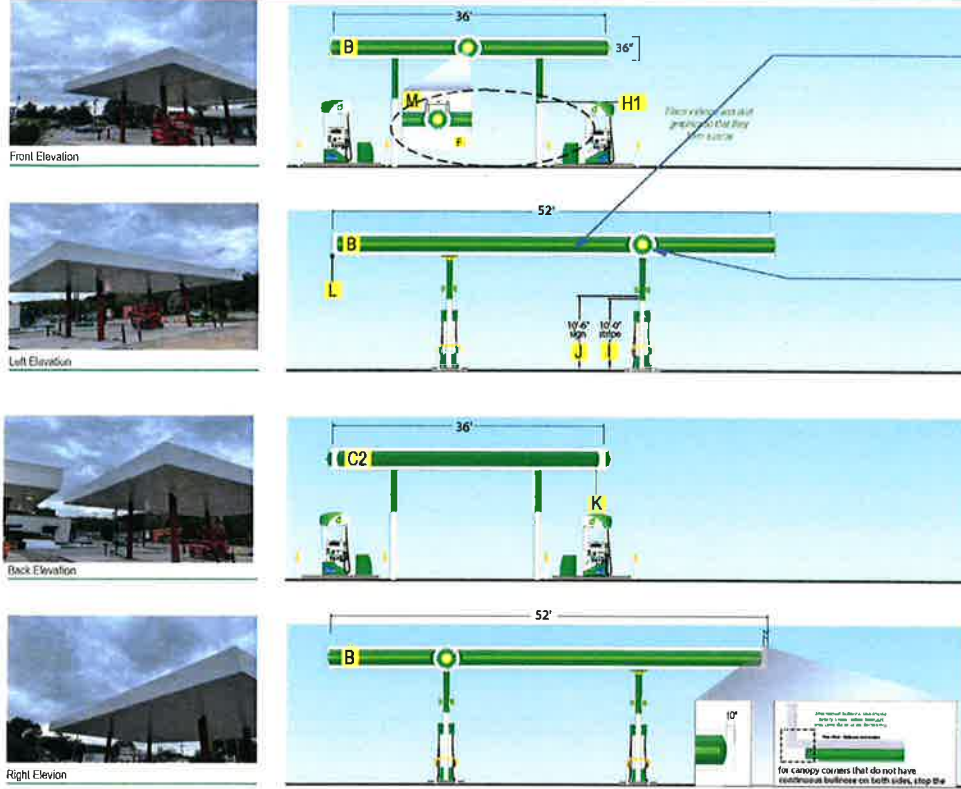
PROJECT: **BP STATION PROPOSED SIGN**
 212 TARRYTOWN ROAD
 WHITE PLAINS, NEW YORK, 10607

NO.	ISSUE	DATE
1	ORIGINAL	8/19/22
2	REVISED	10/1/22
3	REVISED	
4	REVISED	
5	REVISED	
6	REVISED	
7	REVISED	
8	REVISED	
9	REVISED	
10	REVISED	



SCALE	DATE	PROJECT NO.
AS NOTED	10/1/22	
DRAWN BY	CHECKED BY	APPROVED BY
JV		
DRAWING TITLE		
SITE PLAN WITH CANOPY		

DRAWING NO: **A.002**



See Site Notes page for specific paint codes and contact info. ***REMOVE ALL EXISTING SIGNAGE***

- B** Install Dimensional Bullnose Fascia With Light Bar
- C1** Install Dimensional Bullnose Fascia With No Lightbar
- C2** Install BGB Flat ACM With Decal Applied With No Lightbar
- D** Install New White ACM
 - Jobber Supplied
 - Federal Health Supplied
- E** Paint Existing Flat ACM White
 - Install Bullnose Decal
 - Leave White
- F** Install Helios With Arc Kit
 - 39" Helios
 - 30" Helios (restricted P&Z only)
 - 44" Helios
 - 36" Helios (restricted P&Z only)
- G** Install Helios Without Arc Kit
 - 39" Helios
 - 30" Helios (restricted P&Z only)
 - 44" Helios
 - 36" Helios (restricted P&Z only)
- H1** Paint Canopy Columns White/BP Green, & Install Column Decal (Per Standards Shown on Note Page)
- H2** Paint As Shown In Guide
- I** Install Flag Signs 10'8" From The Ground
- J** Apply BP Light Green Stripe 10'0" From The Ground
- K** Canopy Deck To Be BP White
- L** Canopy Corners: Are 90° Are NOT 90°
- M** Canopy Detail (Full Canopy Detail Page After Elevation)

NOTES:
For a two tier fascia, please remove all layers of fascia and take it back to the deck. Then build the fascia height to 36".

MAP:



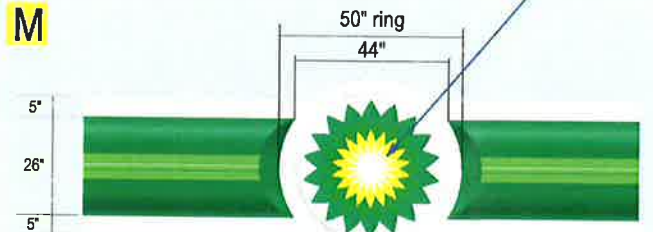
CANOPY OVER EXISTING FUEL PUMPS WAS APPROVED AND CONSTRUCTED WITH SIGNAGE ON THE EAST AND WEST ELEVATIONS OF THE CANOPY FASCIA

THIRD BP SIGN IS BEING PROPOSED ON EAST ELEVATION OF CANOPY

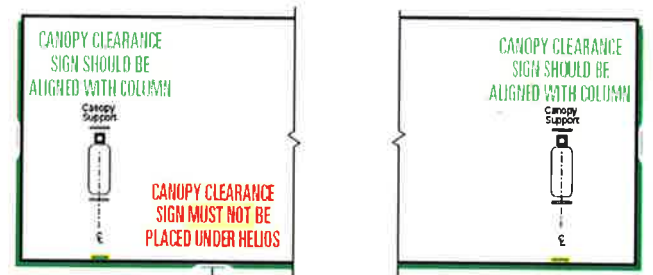
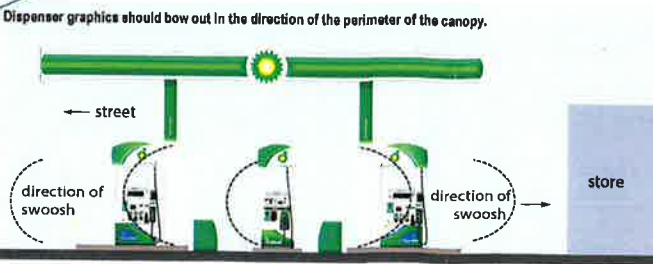
DETAIL OF CANOPY SIGN ON CARWASH SIDE OF PROPERTY. EAST SIDE OF CANOPY FASCIA.

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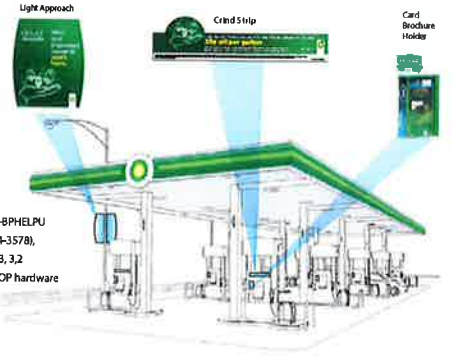
A SIGN ELEVATIONS



CANOPY CLEARANCE WAS REVISED TO 14'-6" TO MAINTAIN 18' TO TOP OF CANOPY



C. plan view - site location - Option 1 D. plan view - site location - Option 2



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B SIGN DETAILS



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PROJECT:
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NO.	ISSUE	DATE
1	ORIGINAL	01/12/21
2	REVISED	
3	REVISED	
4	REVISED	
5	REVISED	
6	REVISED	
7	REVISED	
8	REVISED	
9	REVISED	
10	REVISED	



TITLE: AS NOTED DATE: 10/31/22 PROJECT NO.:
DRAWN BY: JV CHECKED BY: APPROVED BY:
DRAWINGS TITLE: SIGN ELEVATION WITH DETAILS

DRAWING NO.: **A.003**