

LOCATION MAP SCALE: 1" = 1,000' +/-

R-20 ONE-FAMILY RESIDENCE DISTRICT REQUIREMENTS:			
	Required/Permitted:	Lot A:	Lot B:
Min. Lot Area R-20:	20,000 SF	N/A	42,727 SF
Min. Lot Area Special Use Convent:	2 AC	445,689 SF 10.2 AC	N/A
Min. Lot Width:	120'	No Change	309'
<b>Maximum Coverage:</b>			
Principal Building	18%	7.4% <sup>5</sup>	12.9%
Accessory Buildings	4.5%	0.6%	0.0%
All Buildings	22.5%	8.0%	12.9%
Impervious Surfaces	29%	26.8%	27.0%
<b>Building Setbacks R-20 (Yards):</b>			
Front:	30'	N/A	30'
Side:	18'	N/A	15.6' <sup>3</sup>
Rear:	32'	N/A	70'
<b>Building Setbacks Special Use Convent (Yards):<sup>1</sup></b>			
Front:	100'	844.8'	N/A
Side:	100'	100.3'	N/A
Rear:	100'	103.7'	N/A
<b>Minimum Distance from Detached Accessory Buildings or Off-Street Parking Areas to:</b>			
Principal Building:	10'	25.7'	12.3'
Side Lot Line:	16'	21.7'	34.2'
Rear Lot Line:	16'	186.1'	149.2'
Max. Building Height:	2.5 stories or 30'/35'	No Improvements Proposed	2.5 stories / > 30' <sup>2</sup> No Improvements Proposed

1. Permitted Use as outlined in Section 285-10 (1)(e)
2. Pre-existing non-conforming condition. No Improvements Proposed.
3. The applicant is seeking a side yard variance.
4. The applicant is seeking a frontage variance.
5. Principal building includes the 2 story brick and stucco building and the chapel. The calculation does not include the cabana or the northern 2 story stucco building. In addition, the interior courtyards have not been deducted from the calculations.

**SITE DATA:**  
 Tax Map: Sheet 8.241  
 Block 181  
 Lot 4.2  
 Zone: R-20  
 Total Acreage: 11.213 AC

**DEED REFERENCE:**  
 Liber 12360 Pg 257  
 Recorded: August 30, 1999  
 Grantor: The Archbishopric of New York  
 Grantee: The People of the State of New York, the County of Westchester & the Town of Greenburgh

**FILED MAP REFERENCE:**  
 Map Entitled "Subdivision of the Gaisman Estate for Archbishopric of New York" filed as Map No. 26404, on July 26, 1999

**GENERAL NOTES:**  
 To date, no Title Report or Abstract of Title has been provided. This survey is subject to a current, up to date Title Report.

Property corner monuments were not placed as part of this survey.

This map may not be used in connection with a "Survey Affidavit" or similar document, statement or mechanism to obtain title insurance for any subsequent or future grantees.

Unauthorized alteration or addition to this survey is a violation of Section 7209, subdivision 2 of the New York State Education Law.

The alteration of survey maps by anyone other than the original preparer is misleading, confusing and not in the general welfare and benefit of the public. Licensed Land Surveyors shall not alter survey maps, survey plans, or survey plats prepared by others.

Underground structures, if any exist, are not shown hereon, except as noted. The location of underground improvements or encroachments are not always known and often must be estimated. If underground improvements, easements, or encroachments exist and are neither visible during normal field survey operations nor described in instruments provided to this surveyor, they may not be shown on this map and are not certified.

Certifications indicated hereon signify that this survey was prepared in accordance with the existing Code of Practice for Land Surveys adopted by the New York State Association of Professional Land Surveyors, Inc. Said certifications shall run only to the person or entity for whom this survey was prepared and on their behalf to the title company, governmental agency and/or lending institution listed hereon, and to the assignees thereof.

Certifications are not transferable to additional lending institutions or subsequent owners.

This property may be affected by instruments which have not been provided to this surveyor. Users of this map should verify title with their attorney or a qualified title examiner.

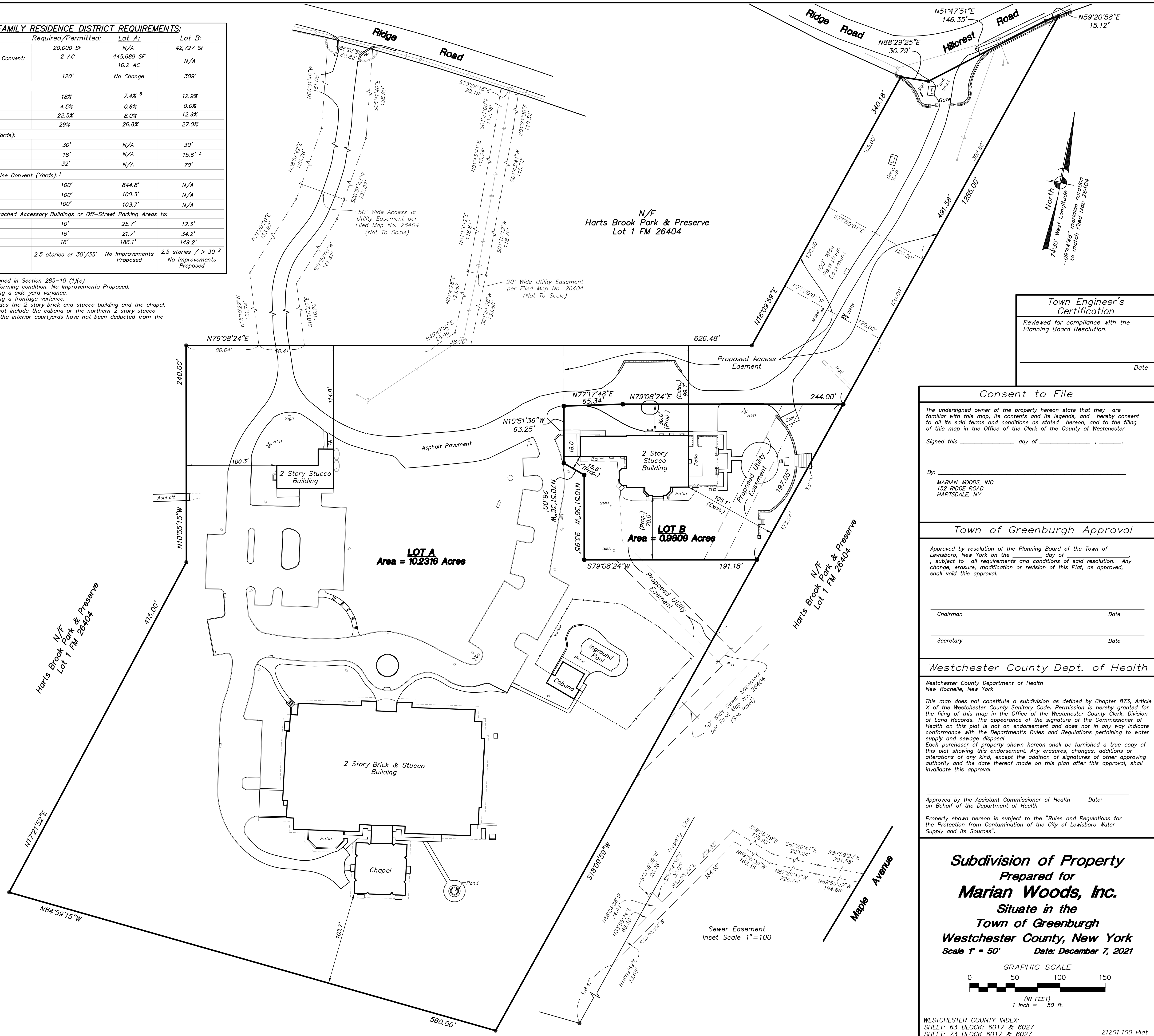
Only copies from the original of this survey marked with the surveyor's embossed seal are genuine, true and correct copies of the surveyor's original work and opinion. A copy of this document without a proper application of the surveyor's embossed seal should be assumed to be an unauthorized copy.

**Land Surveyor's Certification**

I hereby certify that the survey shown hereon was completed on October 4, 2021; that this map was completed December 7, 2021; and that this survey has been prepared in accordance with the existing Code of Practice for Land Surveys adopted by the New York State Association of Professional Land Surveyors, Inc.

**INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.**  
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**Town Engineer's Certification**  
 Reviewed for compliance with the Planning Board Resolution.  
 \_\_\_\_\_  
 Date

**Consent to File**

The undersigned owner of the property hereon state that they are familiar with this map, its contents and its legends, and hereby consent to all its said terms and conditions as stated hereon, and to the filing of this map in the Office of the Clerk of the County of Westchester.

Signed this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_

By: \_\_\_\_\_  
 MARIAN WOODS, INC.  
 152 RIDGE ROAD  
 HARTSDALE, NY

**Town of Greenburgh Approval**

Approved by resolution of the Planning Board of the Town of Lewisboro, New York on the \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_, subject to all requirements and conditions of said resolution. Any change, erasure, modification or revision of this Plat, as approved, shall void this approval.

Chairman \_\_\_\_\_ Date \_\_\_\_\_  
 Secretary \_\_\_\_\_ Date \_\_\_\_\_

**Westchester County Dept. of Health**

Westchester County Department of Health  
 New Rochelle, New York

This map does not constitute a subdivision as defined by Chapter 873, Article X of the Westchester County Sanitary Code. Permission is hereby granted for the filing of this map in the Office of the Westchester County Clerk, Division of Land Records. The appearance of the signature of the Commissioner of Health on this plat is not an endorsement and does not in any way indicate conformance with the Department's Rules and Regulations pertaining to water supply and sewage disposal.

Each purchaser of property shown hereon shall be furnished a true copy of this plat showing this endorsement. Any erasures, changes, additions or alterations of any kind, except the addition of signatures of other approving authority and the date thereof made on this plan after this approval, shall invalidate this approval.

Approved by the Assistant Commissioner of Health \_\_\_\_\_ Date: \_\_\_\_\_  
 on Behalf of the Department of Health

Property shown hereon is subject to the "Rules and Regulations for the Protection from Contamination of the City of Lewisboro Water Supply and its Sources".

**Subdivision of Property Prepared for Marian Woods, Inc. Situate in the Town of Greenburgh Westchester County, New York**  
 Scale 1" = 50' Date: December 7, 2021

GRAPHIC SCALE  
 0 50 100 150  
 (IN FEET)  
 1 inch = 50 ft.

WESTCHESTER COUNTY INDEX:  
 SHEET: 63 BLOCK: 6017 & 6027  
 SHEET: 73 BLOCK 6017 & 6027 21201.100 Plat