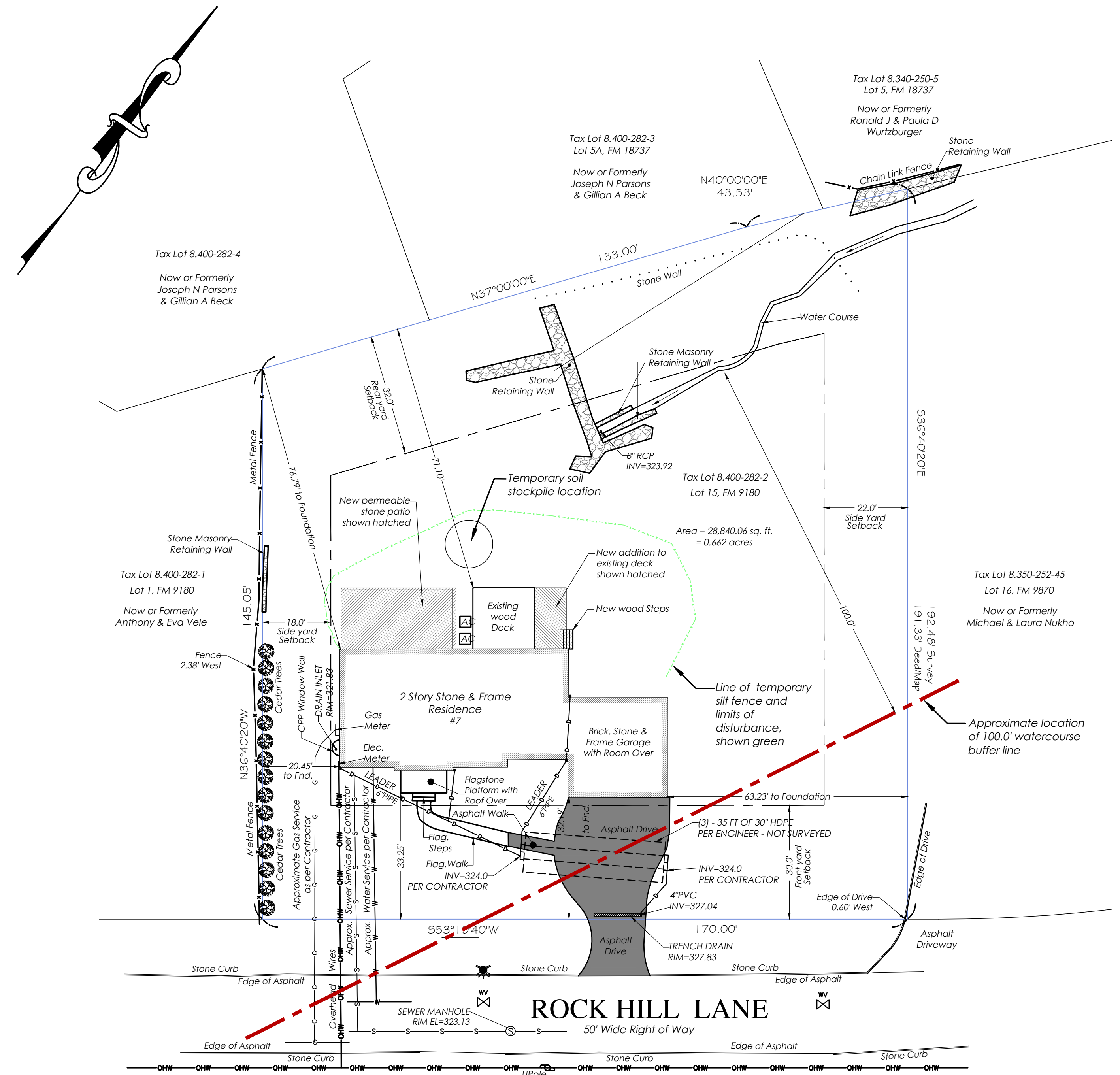
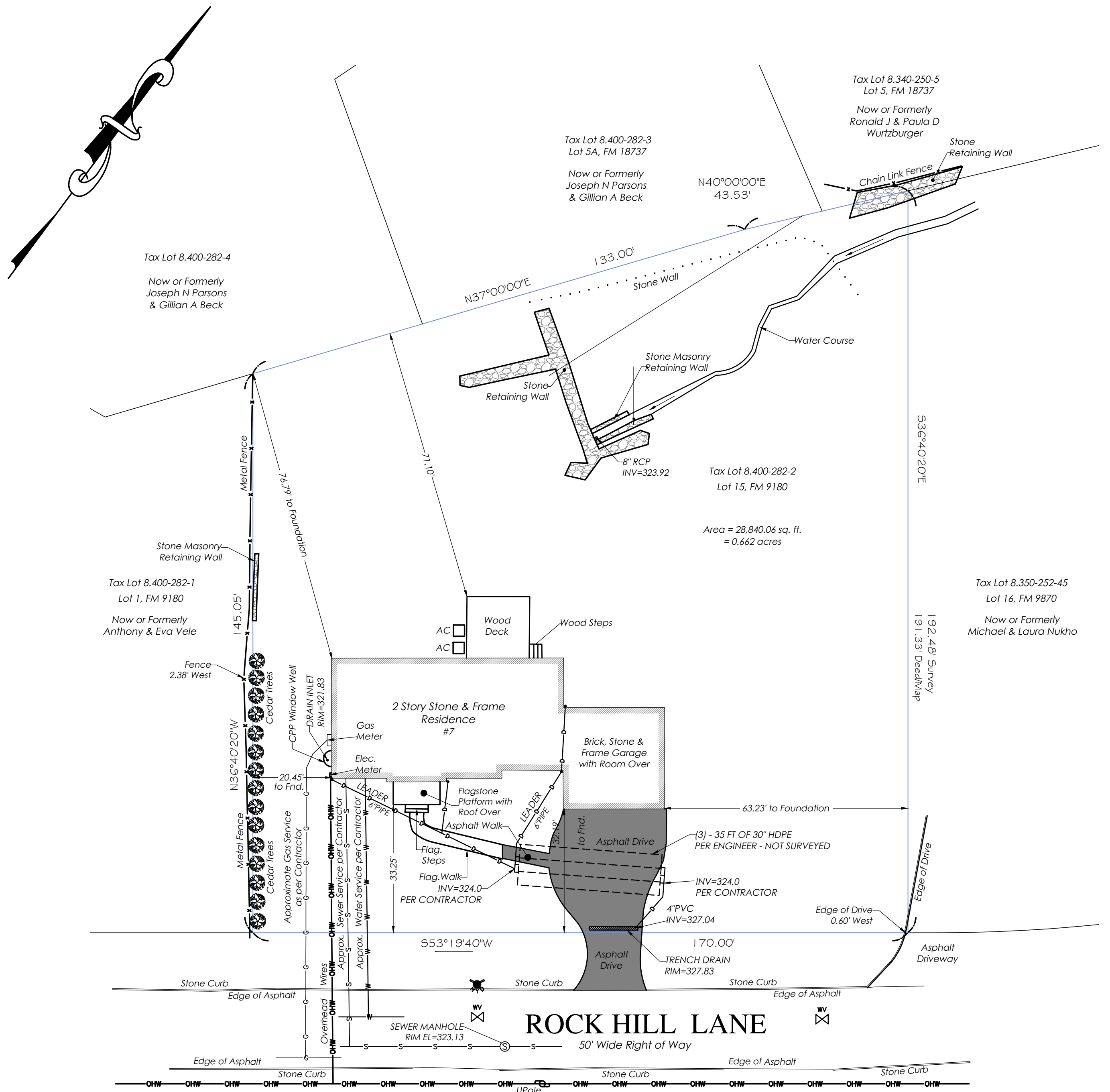


Existing Site Plan - Scale 1" = 20'-0"

Proposed Site Plan - Scale 1" = 20'-0"

SITE PLAN NOTES



1. INFORMATION ON SITE PLANS TAKEN FROM A SURVEY PREPARED BY
 THOMAS C. MERRITTS LAND SURVEYORS, P.C.
 394 BEDFORD ROAD
 PLEASANTVILLE, NEW YORK 10570
 SCOTT B. GRAY
 NEW YORK STATE LICENSE NO.: 050672
 TEL.: (914) 769-8003
 (203) 622-8899
 THE SURVEY IS DATED NOVEMBER 26, 2019.

2. PLANS ARE NOT TO BE SCALED.

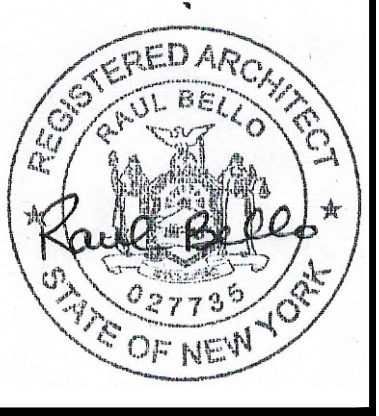
Title
 MUGER RESIDENCE
 7 ROCK HILL LANE
 SCARSDALE,
 NEW YORK 10583
 FOR BUILDING PERMIT
 MARCH 7, 2022

Drawing Issue

No.	Date	Description	By
1	3-7-22	For Building Permit	RB
2	7-27-22	For Building Permit	RB

Drawing Revisions

No.	Date	Description	By



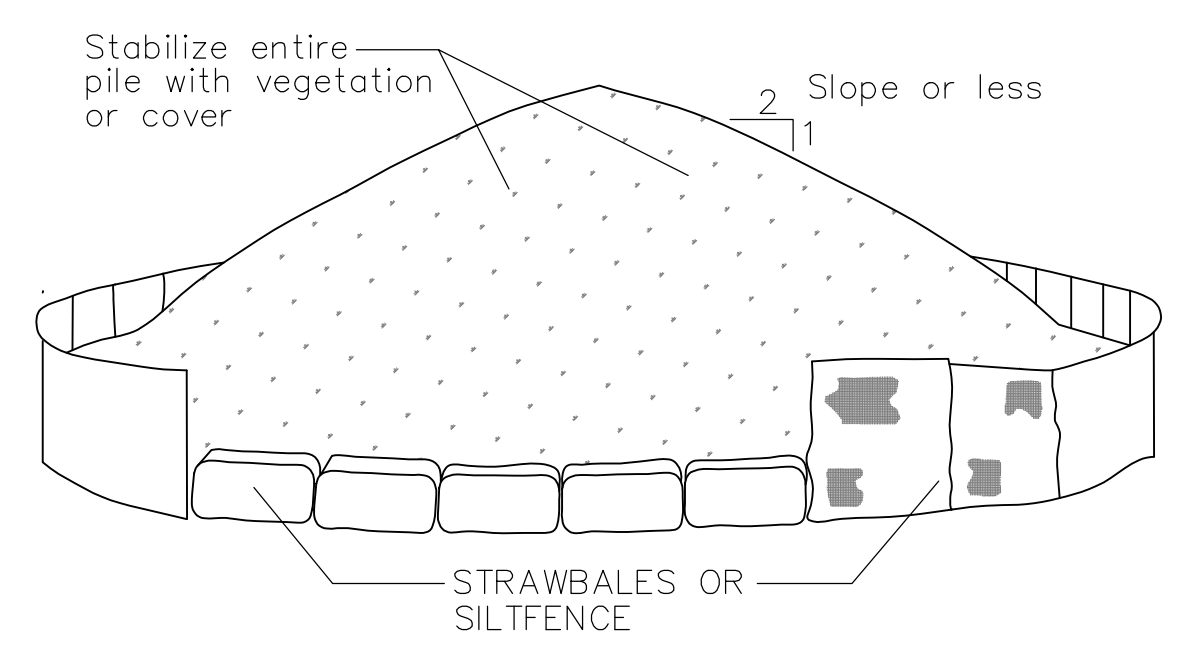
Bello Architecture, PLLC
 36 New Street
 Rye, New York 10580
 Tel: 914-690-0870
 Fax: 914-937-1968

Project:
 Muger Residence
 7 Rock Hill Lane
 Scarsdale, New York 10583

Sheet Title:
 Title Sheet &
 Site Plans

Scale 1" = 20'-0"	Project No. 21121
Date 3/7/22	Sheet No. C-101
Drawn By RB	

SOIL STOCKPILING DETAIL - N.T.S.



INSTALLATION NOTES:
 1. TOPSOIL AND OTHER APPROVED NON-SURPLUS MATERIAL STOCKPILES SHALL BE LOCATED ON UNPAVED, LEVEL, DRY GROUND.
 2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2
 3. STOCKPILES SHALL BE COVERED WITH TARPS OR TEMPORARY SEEDING AND BE SURROUNDED BY PROPERLY INSTALLED HAYBALE/STRAWBALE SEDIMENT BARRIERS AND/OR SILT FENCING.
 4. WHEN UNABLE TO PLACE STOCKPILE ON UNPAVED SURFACES, CONTRACTOR SHALL, AT THE SOLE DISCRETION OF THE ENGINEER, PLACE STOCKPILE OVER TARP AND COVER AND/OR CONTAIN AS DESCRIBED ABOVE.
 5. SEE SPECIFICATIONS FOR INSTALLATION OF SILTFENCE.
 6. NO STOCKPILE OF SURPLUS MATERIAL WILL BE PERMITTED.

Drawing Index

DRAWING INDEX SUMMARY
 ARCHITECTURAL

Dwg. #	Title	Scale
C-101	Title Sheet & Site Plans	1" = 20'-0"
C-102	General Notes	No Scale
Ex-101	Basement Demolition Plan	1/4" = 1'-0"
Ex-102	First Floor Demolition Plan	1/4" = 1'-0"
Ex-103	Existing Elevations	1/4" = 1'-0"
A-101	Basement Construction Plan & Details	As Noted
A-102	First Floor Construction Plan & Section Thru Deck	As Noted
A-103	Elevations	1/4" = 1'-0"

Zoning Tabulation

	REQUIRED	EXISTING	PROPOSED
ZONE: R-20			
SECTION: 8.400			
BLOCK: 282			
LOT: 2			
MINIMUM LOT AREA	20,000 SF	28,840.06 SF	28,840.06 SF
MINIMUM LOT WIDTH	120.0 FT	170.0 FT	170.0 FT
MAX. COVERAGE			
PRINCIPAL BUILDING ACCESS: BUILDING	18%	8.85% +/-	8.85% +/-
ALL BUILDING IMPERVIOUS SURFACE	4.5%	0.0%	0.0%
	22.5%	8.85% +/-	8.85% +/-
	29%	13.9% +/-	13.9% +/-
MINIMUM YARDS			
FRONT	30 FT	32.19 FT	32.19 FT
SIDE	18 FT	20.45 FT	20.45 FT
TWO SIDES	40 FT	83.68 FT	83.68 FT
REAR YARD	32 FT	71.10 FT	71.10 FT
MIN. DISTANCE FROM DETACHED ACCESSORY BUILDING OR OFF ST. PARKING AREAS TO PRINCIPAL BUILDING			
SIDE TO LINE	10 FT	NA	NA
REAR LOT LINE	16 FT	NA	NA
	16 FT	NA	NA
MAX. BUILDING HT. FEET			
STORIES	30 FT	25.7 FT	25.7 FT
	2 1/2	2 1/2	2 1/2