

GENERAL NOTES:

- 1) Verify all conditions and dimensions on the job site.
- 2) Written dimensions on these drawings shall have precedence over scaled dimensions and are nominal.
- 3) Engineer not responsible for supervision of construction or observation of work in progress.
- 4) Engineer to be notified of any change to plan and approved by him.
- 5) All work shall conform to all codes having jurisdiction, where conflicts of or between codes occur, the more stringent code shall supersede all others.
- 6) All contractors and/or sub-contractors are to plan the approved standards: A.I.S.C., Federal, U.S. etc., and the highest standards of their trade. All construction shall be performed to these standards.
- 7) Any plumbing or electrical work, to be done under separate applications.
- 8) All lumber to be minimum 850 p.s.i. construction grade lumber.
- 9) All concrete to be minimum 4,000 P.S.I. (concrete compressive strength at 28 days).
- 10) All structural steel to be A-36 (steel yield strength of 36,000 P.S.I.).
- 11) No work to commence until approval is obtained from the Town of Hartsdale Building Department; and all necessary permits have been secured.
- 12) All smoke/heat detectors to be hardwired with battery back-up.
- 13) Use only new materials without defects.
- 14) Set all work straight, plumb and level or with indicated slope.
- 15) Any variations from conditions as shown on these drawing shall be brought to the attention of the Engineer. Work shall not proceed until clarification has been received. Discrepancies and omissions on drawings and specifications shall be reported to the engineer in writing for clarification.
- 16) Drawings are not to be scaled - use dimensions only. contractor and/or Sub-Contractor must check all conditions at the job site.
- 17) All new interior stud partitions are to be carried up and secured tight against ceiling, floor deck or structural steel unless otherwise noted on plan.
- 18) All gypsum board walls and ceilings to be 5/8" firecode sheetrock.
- 19) All plumbing and electrical work shall be filed for by licensed Contractors who shall perform the work in conformance with the code having jurisdiction. The Contractors shall obtain a final certificate of Occupancy or Compliance upon completion of his work.
- 20) The contractor shall be required to repair and patch any areas that are altered or damaged during the process of alterations.
- 21) The contractor is cautioned to make continuous observations of the existing structure during the performance of his work and should be aware of any situation that may require further investigation or study (such as cracks in masonry and partitions, additional deflections, etc.). He then shall notify the engineer.
- 22) The engineer shall be sole judge as to the adequacy of the work performed as related to approval of work for payment by the owner. The engineer shall have the right to order the removal of defective work and material and have such areas corrected at no additional cost to the owner. The governmental inspectors shall also judge the work for minimum compliance with codes. Approval by such inspectors does not preclude decisions by the engineer. The general contractor shall make all necessary field adjustments as dictated by job conditions at no additional cost to the owner.
- 23) Any deviation from this plans shall cause the work to cease in the affected area until the change has been approved by the Engineer.
- 24) These drawings and specifications are valid only if they bear the impressed seal and original signature of the Engineer whose name appears hereon.
- 25) Any unauthorized alterations of or additions to these drawings is a violation of section 7209 (2) of the New York State Education Law. Such authorization shall only be in writing, signed and sealed by the Engineer.
- 26) All work shall comply with the 2020 Existing Building Code.
- 27) All work shall be Type I-B Construction.

ALTERATIONS AND EXISTING CONDITIONS NOTES:

- 1) Verify all dimensions and elevations at the job site.
- 2) All cutting and patching to be done by hand.
- 3) Where existing work is to be cut, Contractor shall provide all shoring, bracing, wedging and dry-packing and shall be responsible for the safety of the structure during this operation.
- 4) The Contractor shall be required to repair and patch any areas that are altered or damaged during the process of alterations.
- 5) The Contractor is cautioned to make continuous observations of the existing structure during the performance of his work and should become aware of any situations that require further investigation or study (such as cracks in masonry and partitions, additional deflections, etc.), he shall notify the

APPLICABLE CODE
EXISTING BUILDING CODE OF NY 2020
CHAPTER 10 - CHANGE OF OCCUPANCY
BUILDING ELEMENTS AND MATERIALS
MEANS OF EGRESS
ACCESSIBILITY
PLUMBING
OTHER REQUIREMENTS
CHANGE OF OCCUPANCY

EGRESS
OCCUPANCY LOAD:
1-500 NUMBER OF EXITS REQUIRED: 2
NUMBER OF EXITS PROVIDED: 2

EXIT ACCESS TRAVEL DISTANCE

OCCUPANCY: A
WITH SPRINKLER SYSTEM: MAXIMUM 300',
MAXIMUM PROVIDED: 96'

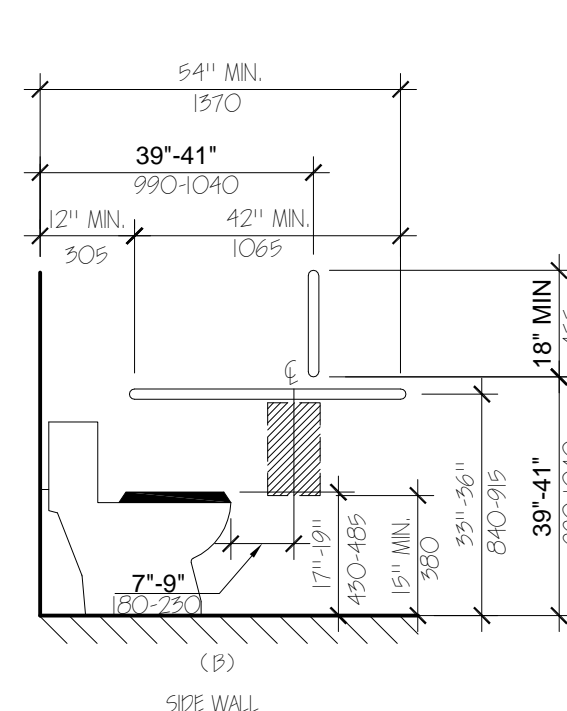
EGRESS WIDTH
PER OCCUPANT WITH SPRINKLER SYSTEM: .2"
SECOND FLOOR
TOTAL NUMBER OF PERSONS: 140
140 x .2 = 28"
PROVIDED: 72"

OCCUPANCY
SECOND FLOOR: A- ASSEMBLY - 6278 gsf

REQUIRED PLUMBING FIXTURES

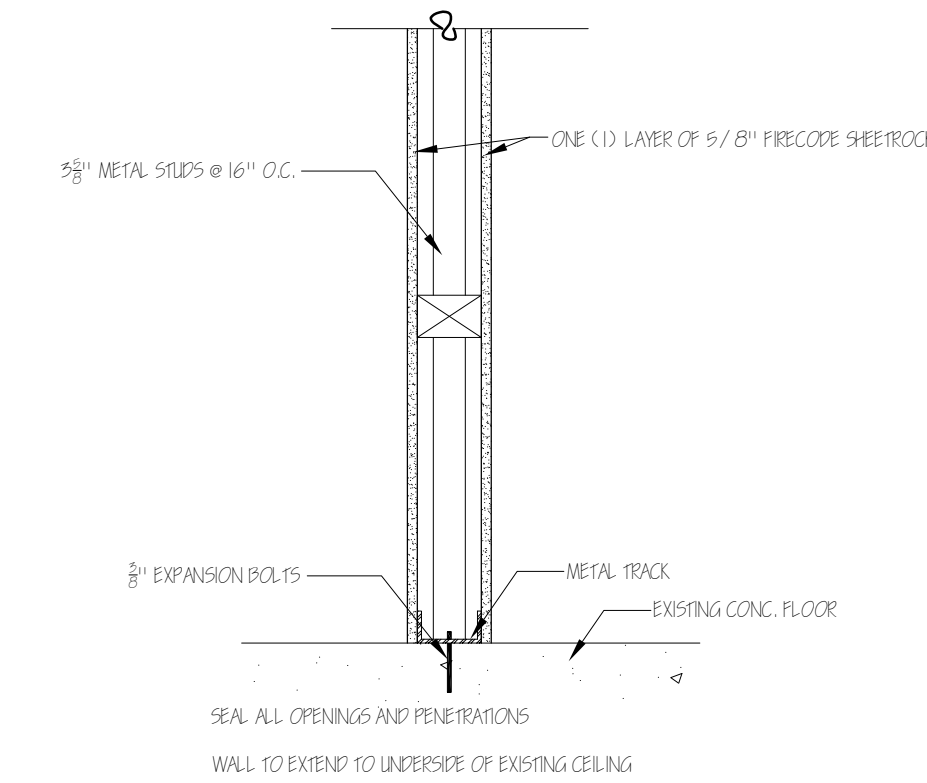
ASSEMBLY: OCCUPANCY A
WATER CLOSETS, MALE 1 PER 40 OCCUPANTS
WATER CLOSETS, FEMALE 1 PER 40 OCCUPANTS
LAVATORIES, FEMALE 1 PER 75 OCCUPANTS
LAVATORIES, MALE 1 PER 75 OCCUPANTS

CONSTRUCTION CLASSIFICATION: TYPE I-B



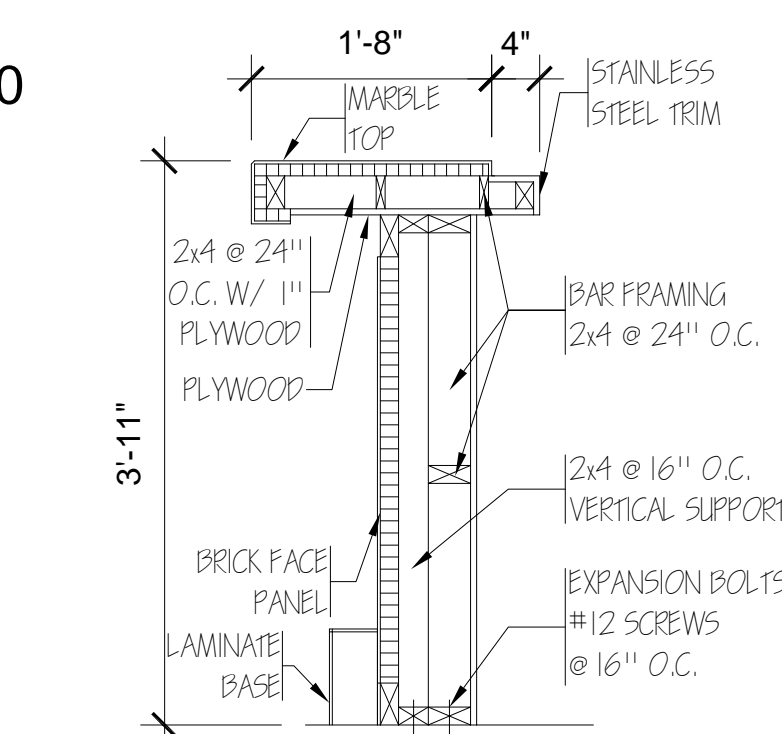
GRAB BARS AT WATER CLOSETS

N.T.S.



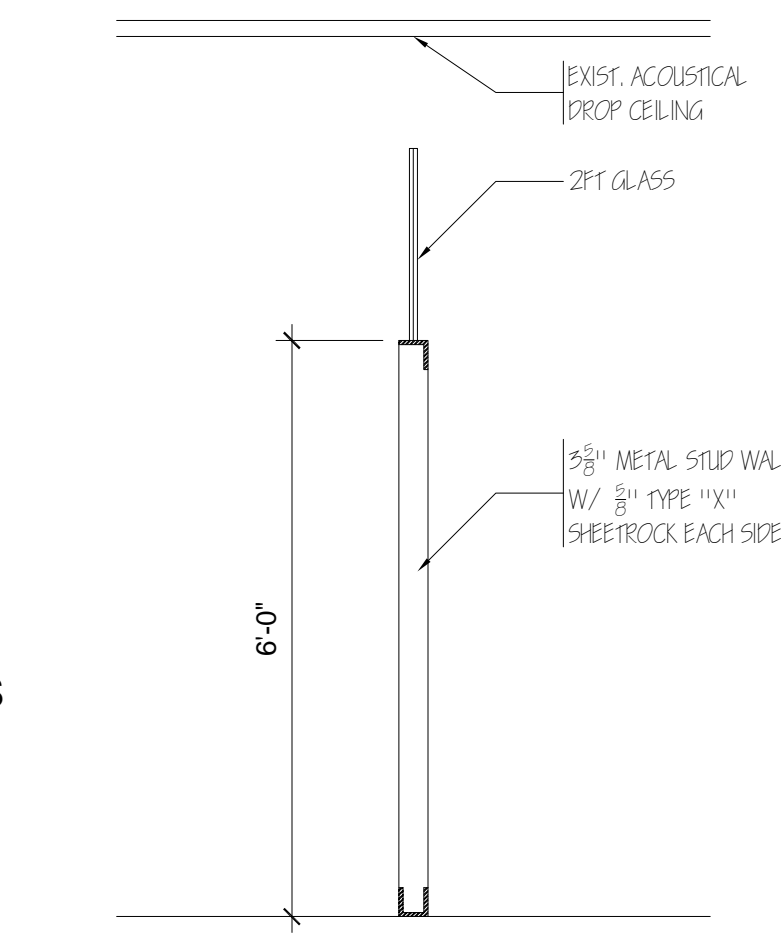
ONE HOUR FIRE RATED PARTITION (UL 305)

A

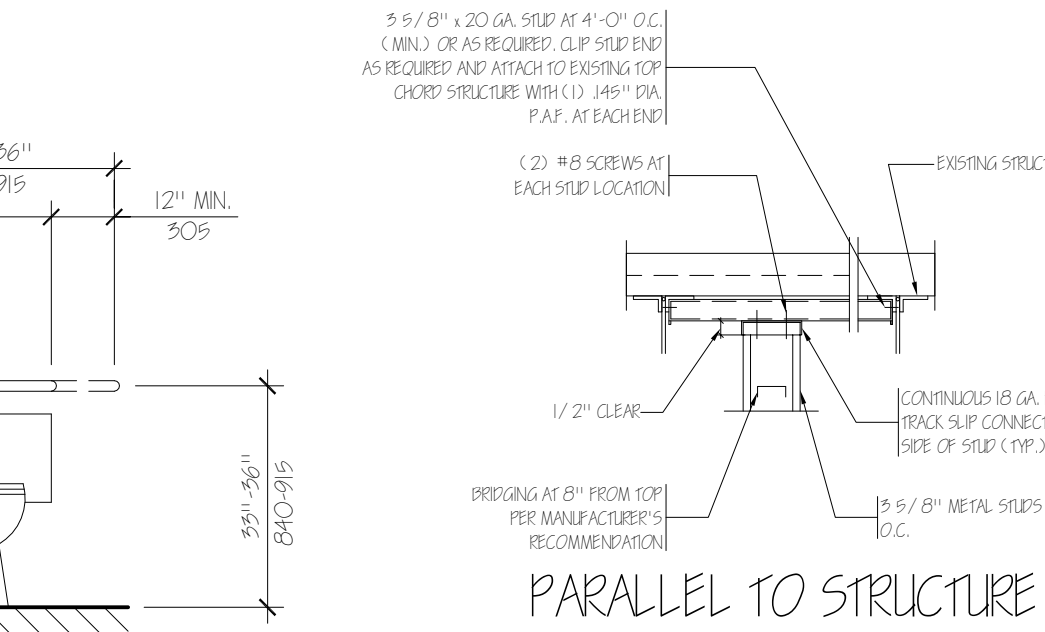


BAR COUNTER TOP DETAIL

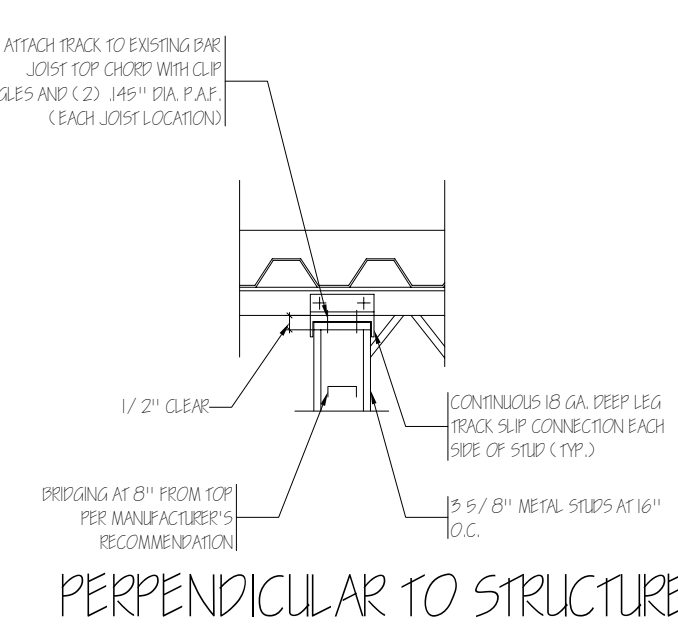
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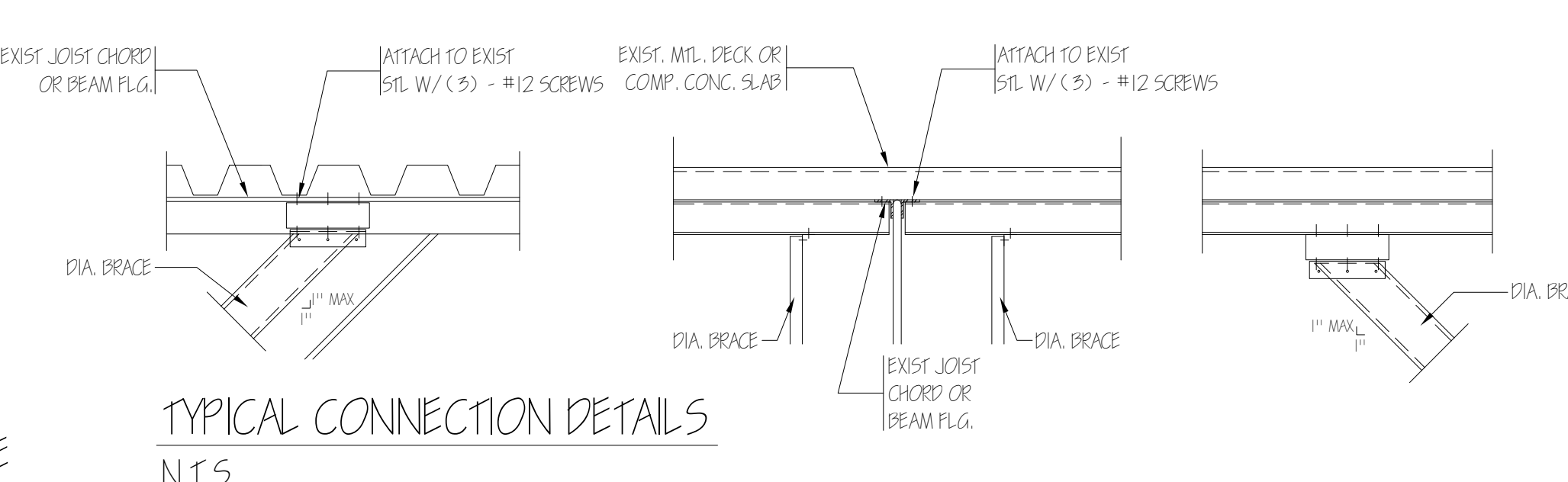
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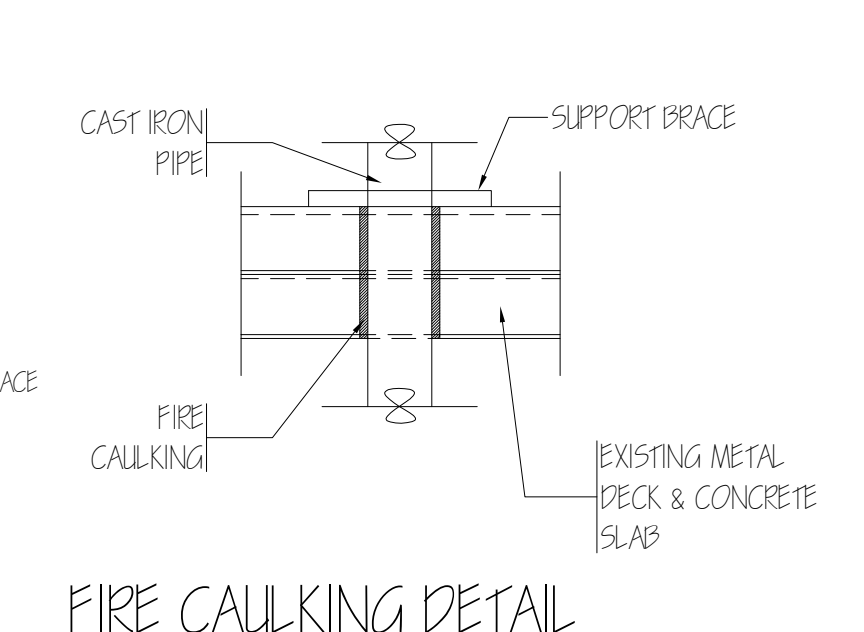
PARALLEL TO STRUCTURE



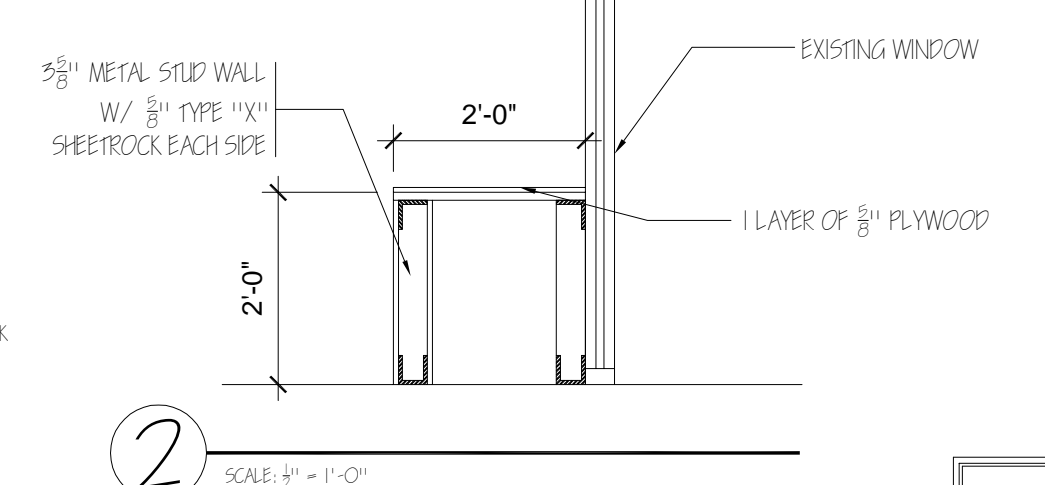
PERPENDICULAR TO STRUCTURE



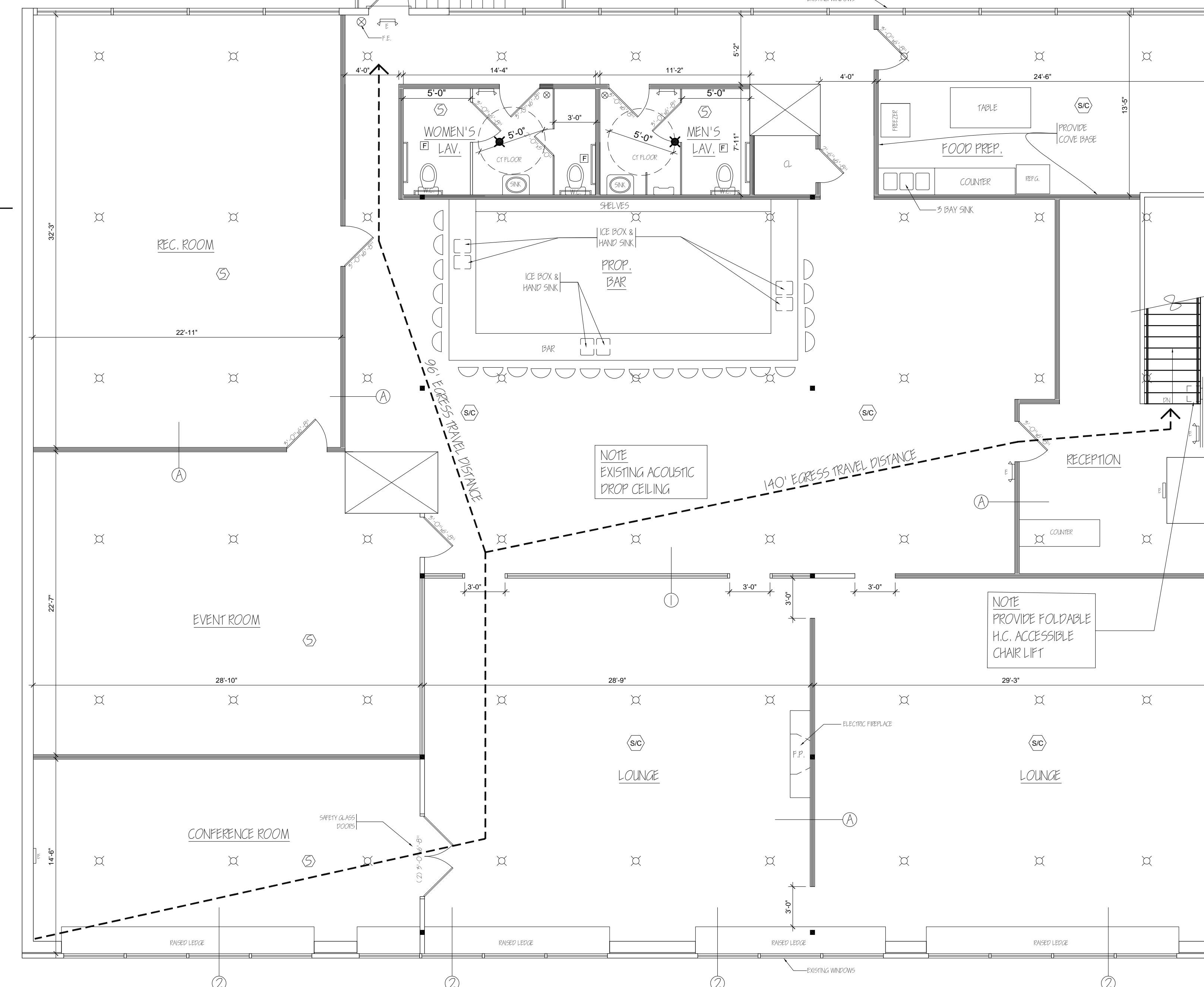
TYPICAL CONNECTION DETAILS
 N.T.S.



FIRE CAULKING DETAIL



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FIRST FLOOR PLAN

SCALE: 3/4\"/>

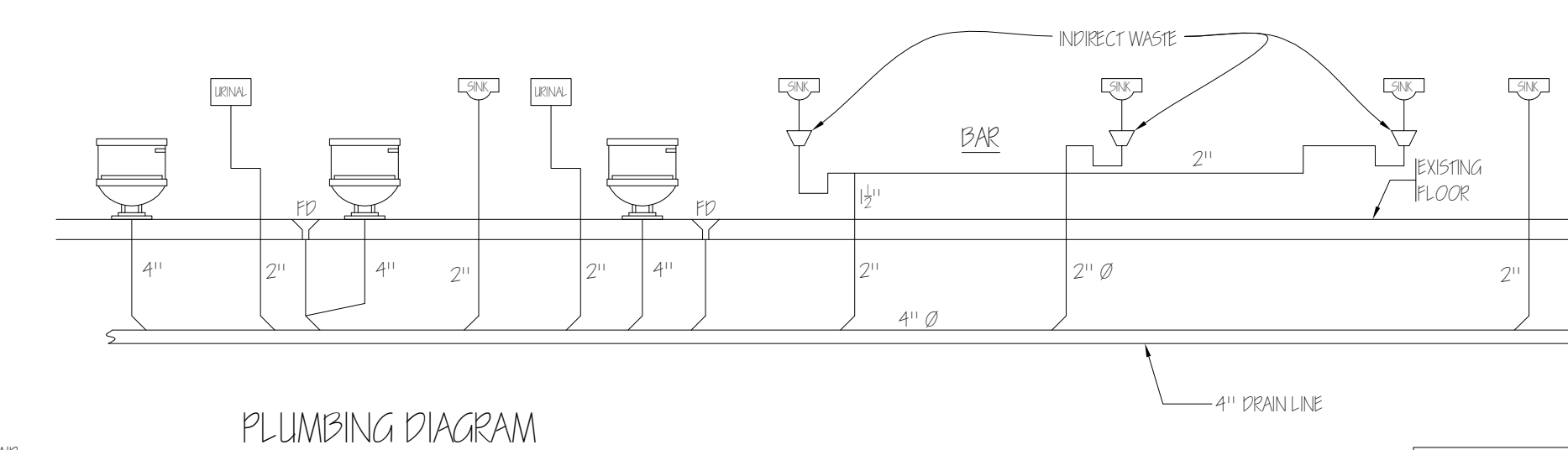
NOTE LIGHTING BY OTHERS

NOTE VINYL FLOOR TILE - ALL FLOORS

- LEGEND**
- (S) - SMOKE DETECTOR HARDWIRED W/ BATTERY BACK-UP VERIFY UL APPROVED COMMERCIAL GRADE
 - (SC) - SMOKE HEAT DETECTOR & CARBON MONOXIDE DETECTOR COMBINATION
 - E - EXIT SIGN W/ BATTERY BACK-UP
 - EM - EMERGENCY LIGHTING
 - - EXISTING WALL TO REMAIN
 - - NEW 5/8\"/>
 - - EXISTING SPRINKLER HEAD
 - - NEW SPRINKLER HEAD
 - - EXHAUST FAN TO EXTERIOR (75 CFM)

To the best of my knowledge, believe, and professional judgement of the undersigned, the plans and specification depicted on these drawings are in compliance with the applicable provision so the New York State Uniform Fire Prevention and Building Code and the New York Energy Conservation Construction Code currently in effect.

Any unauthorized alteration of or addition to this drawing is a violation of Section 7209 (2) of the New York State Education Law. Such authorization shall only be in writing and sealed by the Engineer. All ideas, designs, arrangements and plans indicated or represented by this drawing are owned by and are the exclusive property of Steven A. Costa, P.E. and were created, evolved and developed for use on, and in connection with the project. None of such items, designs, arrangements or plans shall be used by, copied, reproduced or disclosed to any person, firm or corporation for any purpose whatsoever without the written permission of Steven A. Costa, P.E. (Copyright 2021).

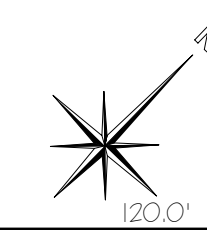


PLUMBING DIAGRAM

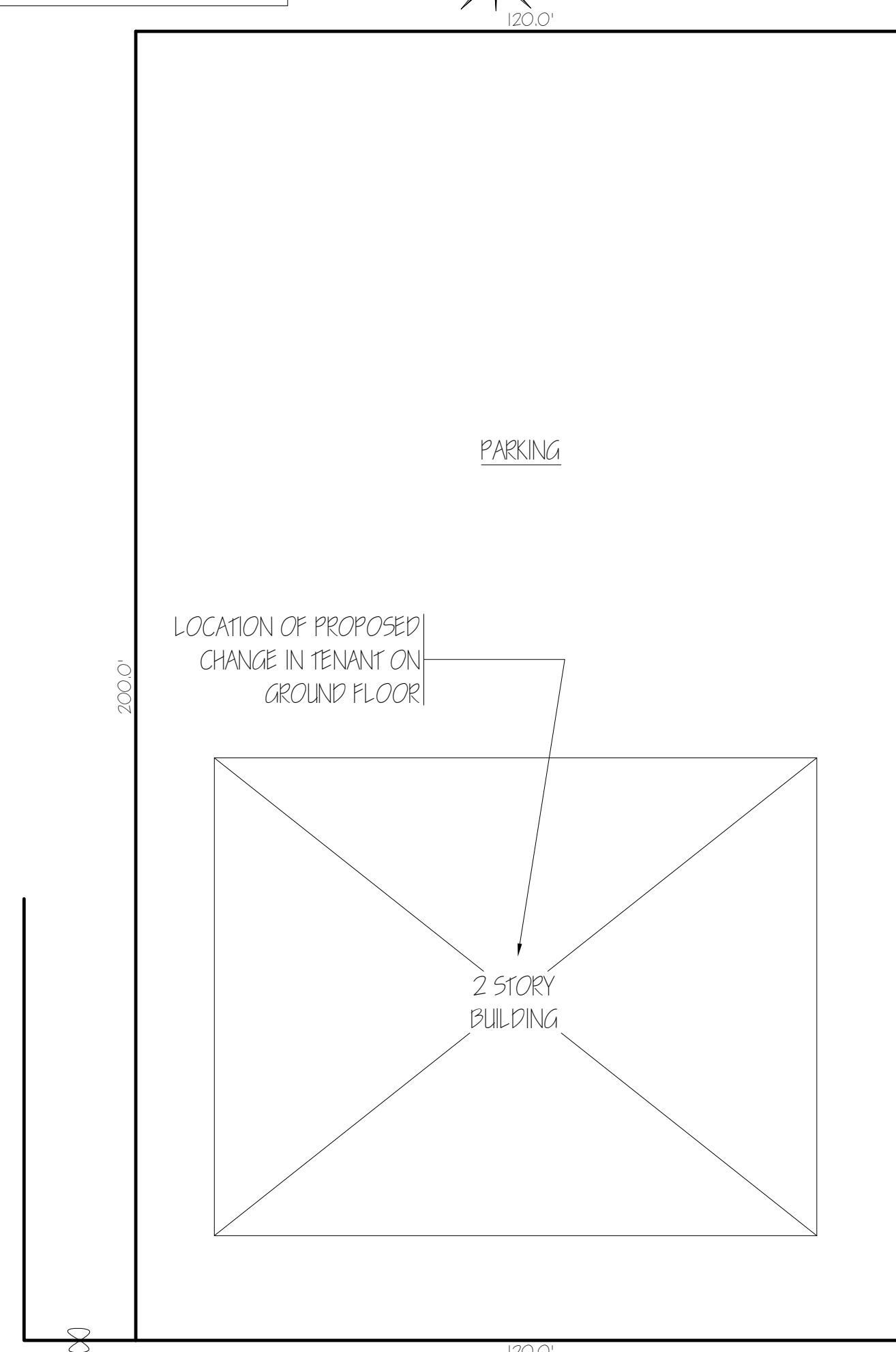
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NOTE
 CORE DRILL HOLES SHALL NOT DAMAGE EXISTING STRUCTURAL STEEL FRAMING. CONTRACTOR SHALL COORDINATE LOCATIONS OF ALL DRILL HOLES TO DRAWINGS

NOTE
 STRUCTURE HAS A FULL SPRINKLER SYSTEM



NORTH HEALY AVENUE



SOUTH CENTRAL AVENUE

SITE PLAN

SCALE: N.T.S.

Block: 220	Proposed Change In Tenant @ 183 S. Central Park Avenue Hartsdale, N.Y.	Scale: as noted
Lot: 15		Date: 06/24/21
Sec: 8.290		Drawn by: J.M.A.S.
App. No.		Check'd by: S.A.C
		Sheet No.
		1